

PRELIMINARY
NOT FOR
CONSTRUCTION

GENERAL NOTES:

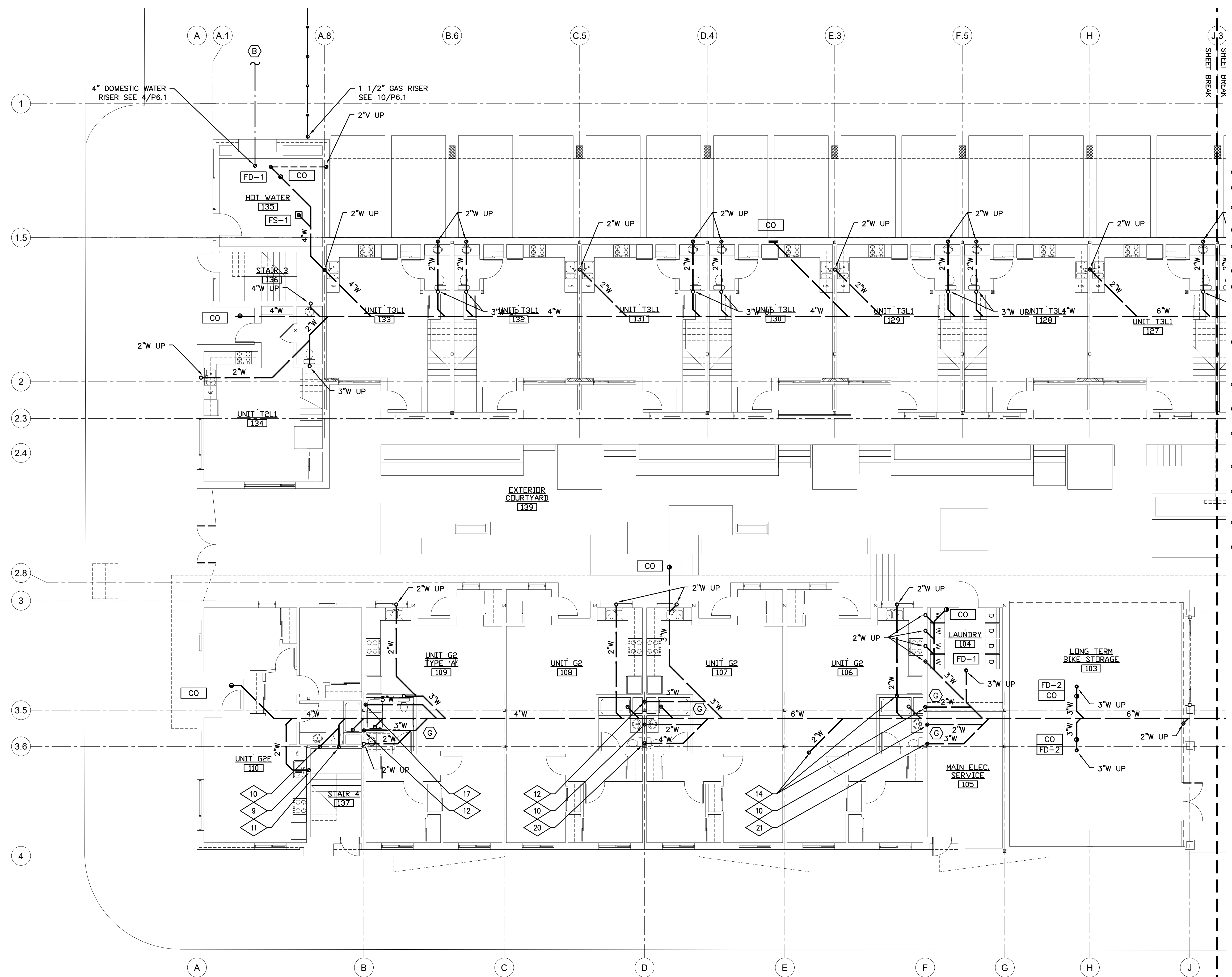
- A. ALL DOMESTIC WATER SUPPLY PIPING TO BE ROUTED ON CONDITIONED SIDE OF BUILDING INSULATION UNLESS OTHERWISE NOTED.
- B. ROUTE CONDENSATE DRAINS TO NEAREST SINK TAIL PIECE OR CLOTHES WASHER BOX.
- C. COORDINATE ALL PIPE ROUTING AND ROOF PENETRATIONS WITH MECHANICAL PRIOR TO STARTING WORK ALL AREAS.

KEYED NOTES:

- (A) - WASTE FROM FIXTURE STACK ABOVE, ROUTE TO BELOW
- (B) - SEE CIVIL FOR CONTINUATION.
- (C) - 1-1/2" HWR WITH BALANCING VALVE FOR EACH RISER STACK, SET BALANCING VALVES TO .75 GPM.
- (D) - SEE UNIT DISTRIBUTION DETAIL 3/P6.1.
- (E) - PROVIDE WASTE/VENT ROUGH-IN ONLY. CAP FOR FUTURE CONNECTION.
- (F) - OFFSET W AND V RISERS AS NEEDED FOR ROUTING
- (G) - DRAINAGE CONNECTIONS SHALL NOT BE MADE INTO A DRAINAGE PIPING SYSTEM WITHIN 8 FT OF ANY VERTICAL TO HORIZONTAL CHANGE OF DIRECTION OF A STACK CONTAINING A SUDS- PRODUCING FIXTURE. EXCEPTION: STACKS RECEIVING THE DISCHARGE FROM LESS THEN 3 STORIES OF PLUMBING FIXTURES.
- (H) - ROUTE VENT RISERS TO 3" VENT MANIFOLD. OFFSET AS REQUIRED AND COMBINE MULTIPLE VENT RISERS PRIOR TO VENTING THROUGH ROOF. COORDINATE VTR'S WITH ROOF TOP EQUIPMENT. TYPICAL.
- (J) - ROUTE 3/4" CONDENSATE DRAINS TO NEAREST LAVATORY TAIL PIECE.
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- (M) - PROVIDE 1" CW & 1" HW WITH SHUT-OFF VALVE(S) FOR LAUNDRY.
- (N) - OVERFLOW TO TERMINATE @ UNDERSIDE OF OVERHANG. CONNECT ROOF DRAIN TO DOWNSPOUT. SEE ARCHITECTURAL DETAILS FOR DOWNSPOUT INFORMATION.
- (P) - ROUTE PIPING EXPOSED ON WALL TO HOSE BIBB. PROVIDE SHUT VALVE AT ACCESSIBLE HEIGHT.
- (Q) - PROVIDE 6" ABS WASTE STUB OUT AT 2.0% MIN FOR CONNECTION BY CIVIL.

RISER DETAILS:

- SEE SHEET (X) P4.0 FOR DOMESTIC WATER RISER DIAGRAMS
- (X) = RISER LETTER (ALPHABETIC)
- SEE SHEET (X) P5.0 FOR WASTE/VENT RISER DIAGRAMS
- (#) = RISER NUMBER (NUMERICAL)



1 PLUMBING UNDERSLAB PLAN - SOUTH
P1.0A SCALE: 1/8" = 1'-0"

MFI Consulting Engineers
2007 S.E. Ash St.
Portland, OR 97214
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CONTACT: Takako Baker

KING+PARKS MULTI-FAMILY RESIDENCES

PROJECT SITE: NE Martin Luther King Jr. Boulevard & N Rosa Parks Way
OWNER: Portland Community Reinvestment Initiatives Inc. (PCRI)
6329 NE Martin Luther King Jr. Blvd. Portland, Oregon 97211

PROJECT NO. 16-0602
ISSUE DATE 06.23.2017
REVISIONS

SHEET
PLUMBING
UNDERSLAB PLAN - SOUTH

P1.0A

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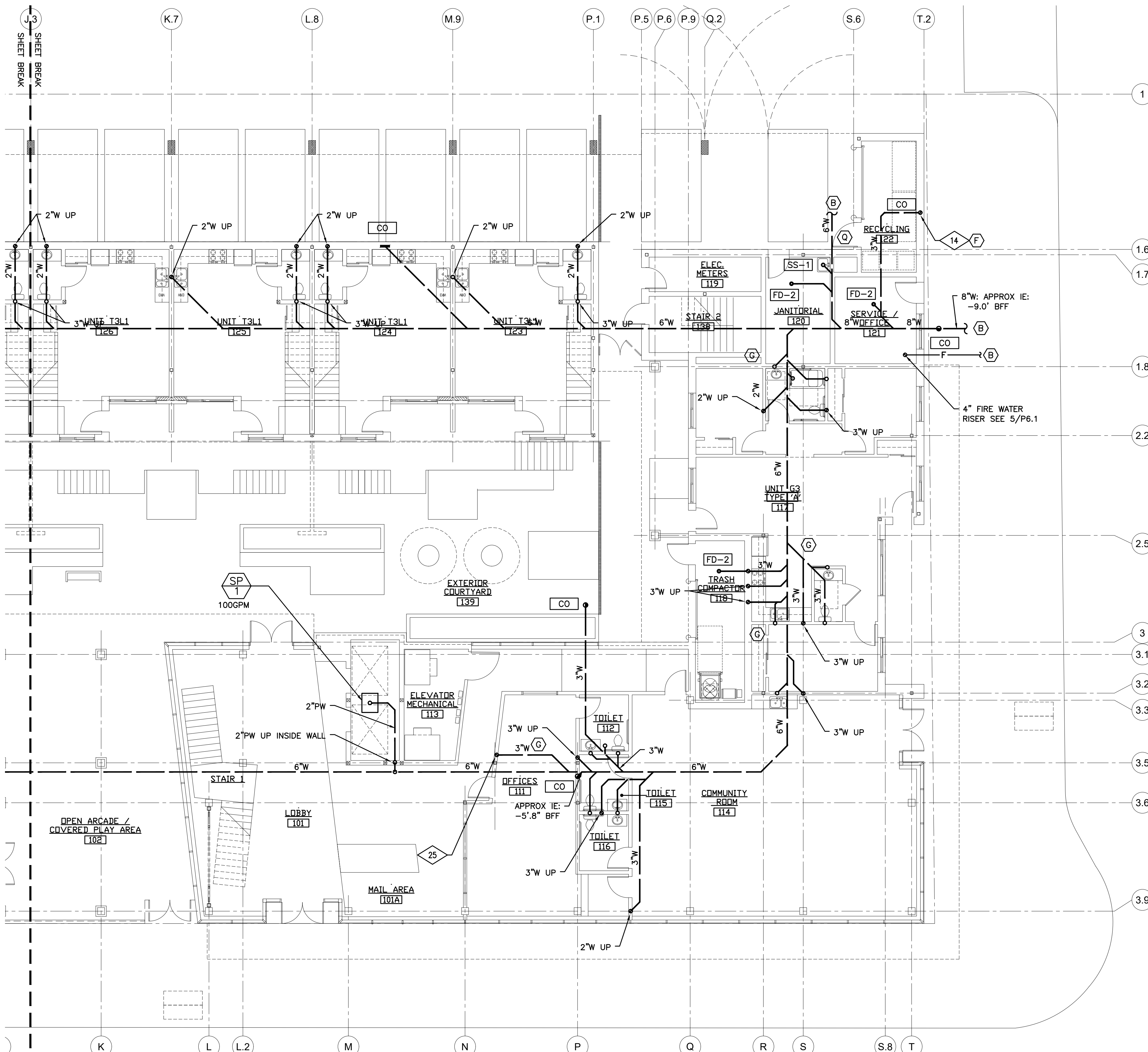
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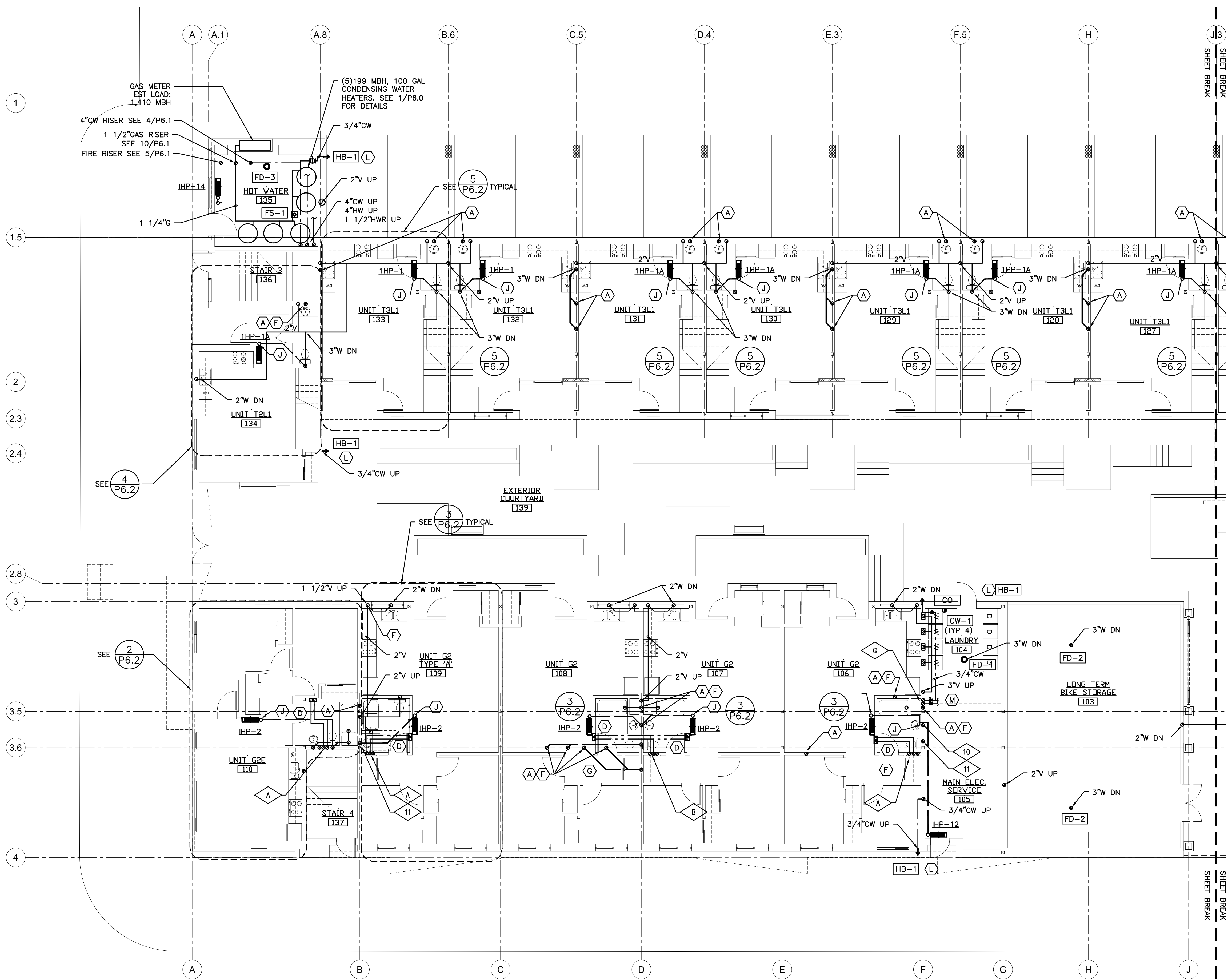
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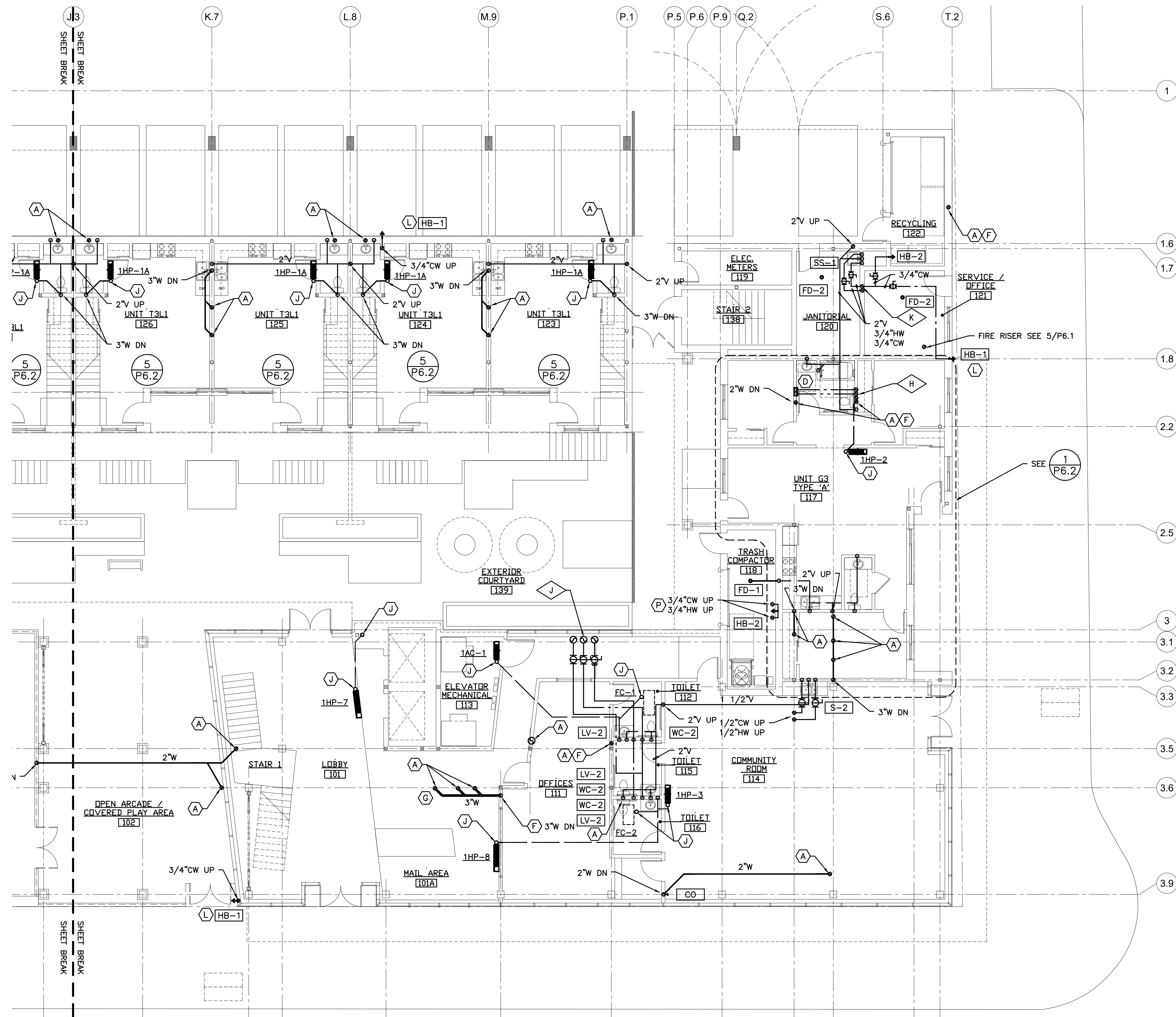
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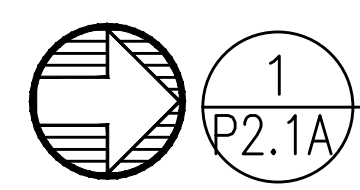
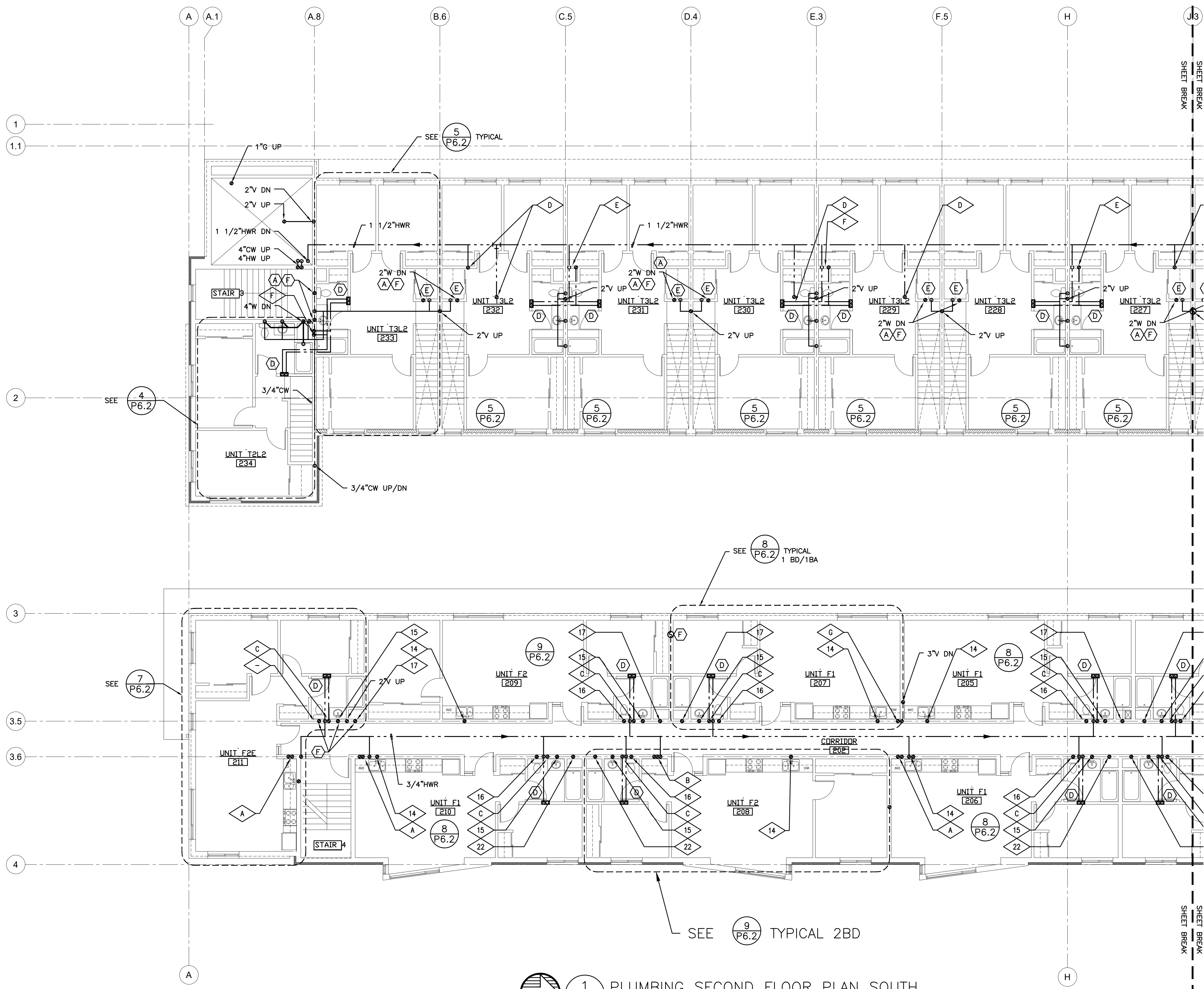
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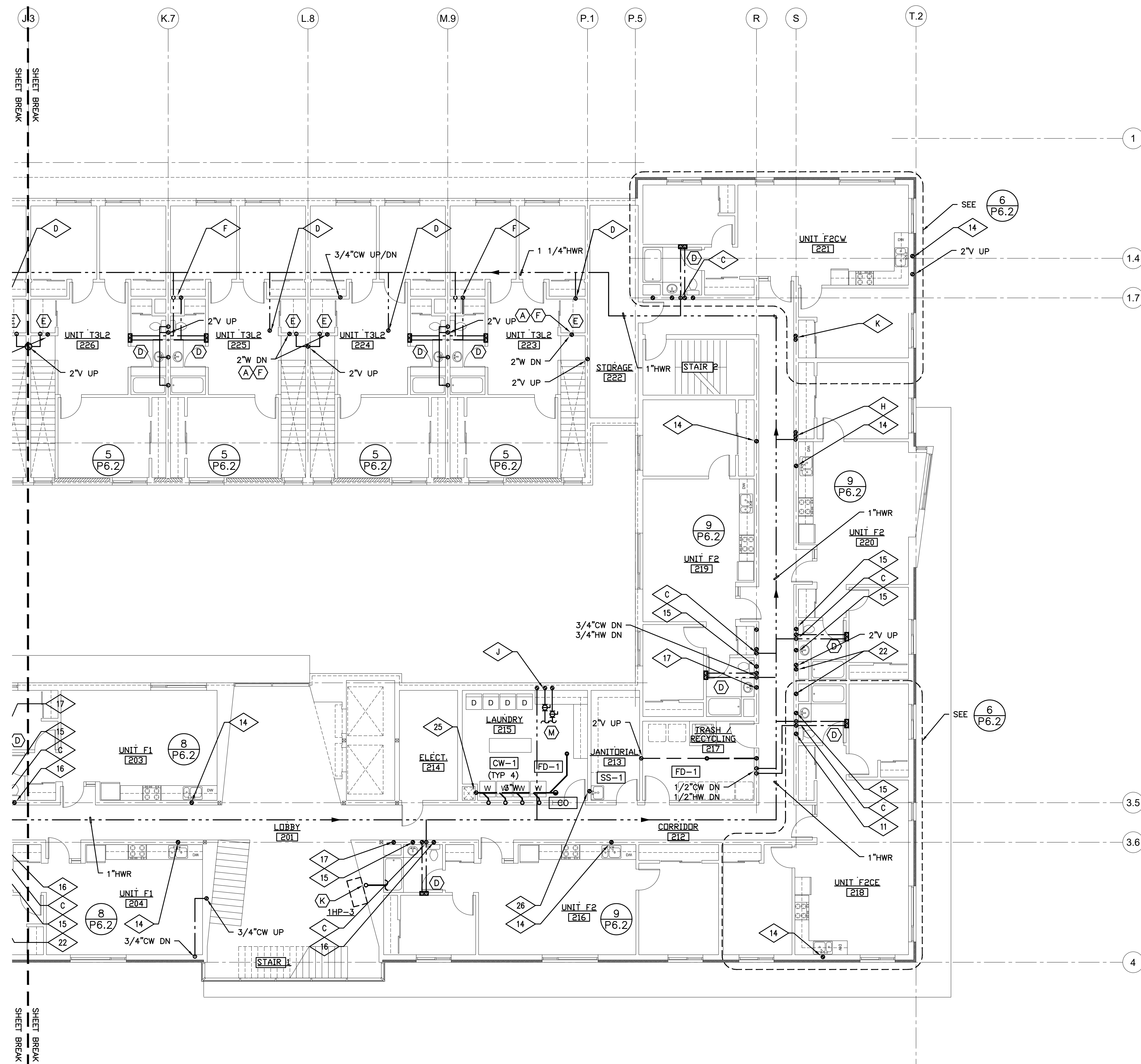
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- (M) - PROVIDE 1" CW & 1" HW WITH SHUT-OFF VALVE(S) FOR LAUNDRY.
- (N) - OVERFLOW TO TERMINATE @ UNDERSIDE OF OVERHANG. CONNECT ROOF DRAIN TO DOWNSPOUT. SEE ARCHITECTURAL DETAILS FOR DOWNSPOUT INFORMATION.
- (P) - ROUTE PIPING EXPOSED ON WALL TO HOSE BIBB. PROVIDE SHUT VALVE AT ACCESSIBLE HEIGHT.
- (Q) - PROVIDE 6" ABS WASTE STUB OUT AT 2.0% MIN FOR CONNECTION BY CIVIL.

RISER DETAILS:

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- (X) = RISER LETTER (ALPHABETIC)
- SEE SHEET (X) P5.0 FOR WASTE/VENT RISER DIAGRAMS
- (#) = RISER NUMBER (NUMERICAL)

KING+PARKS MULTI-FAMILY RESIDENCES

PROJECT SITE: NE Martin Luther King Jr. Boulevard & N Rosa Parks Way
OWNER: Portland Community Reinvestment Initiatives Inc. (PCRI)
6329 NE Martin Luther King Jr. Blvd. Portland, Oregon 97211

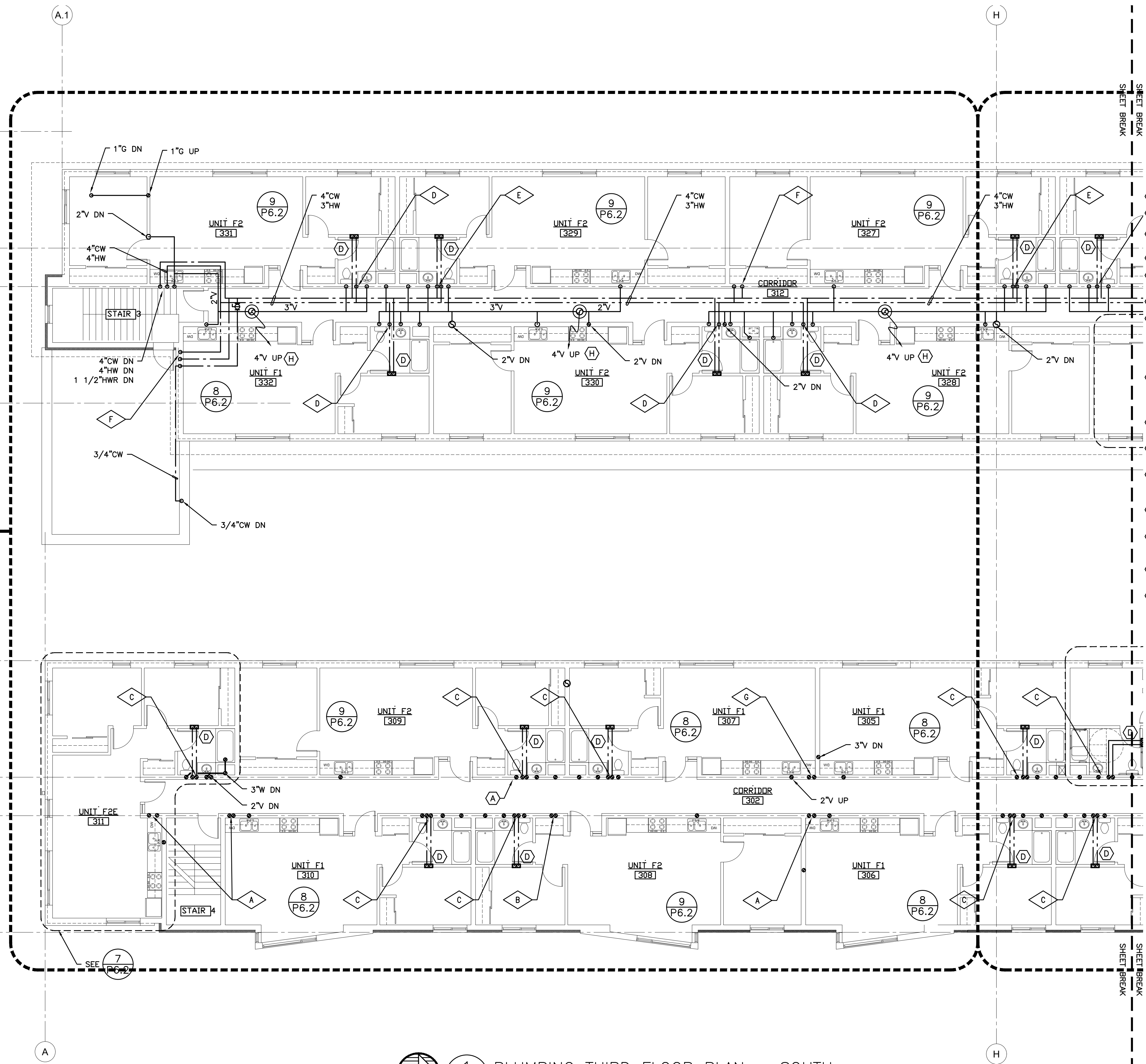


PROJECT NO. 16-0602
ISSUE DATE 06.23.2017

REVISIONS

SHEET
PLUMBING THIRD FLOOR PLAN - SOUTH
P2.2A
NOT FOR CONSTRUCTION
PRICING SET
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MBA Consulting Engineers
2007 S.E. Ash St.
Portland, OR 97214
PHN: (503) 234-0548
FAX: (503) 234-0677
INC. WWW.MBA-ENG.COM
CONTACT: Takako Baker



1 PLUMBING THIRD FLOOR PLAN - SOUTH
SCALE: 1/8" = 1'-0"

1
A4.03b

PRELIMINARY
NOT FOR
CONSTRUCTION

GENERAL NOTES:

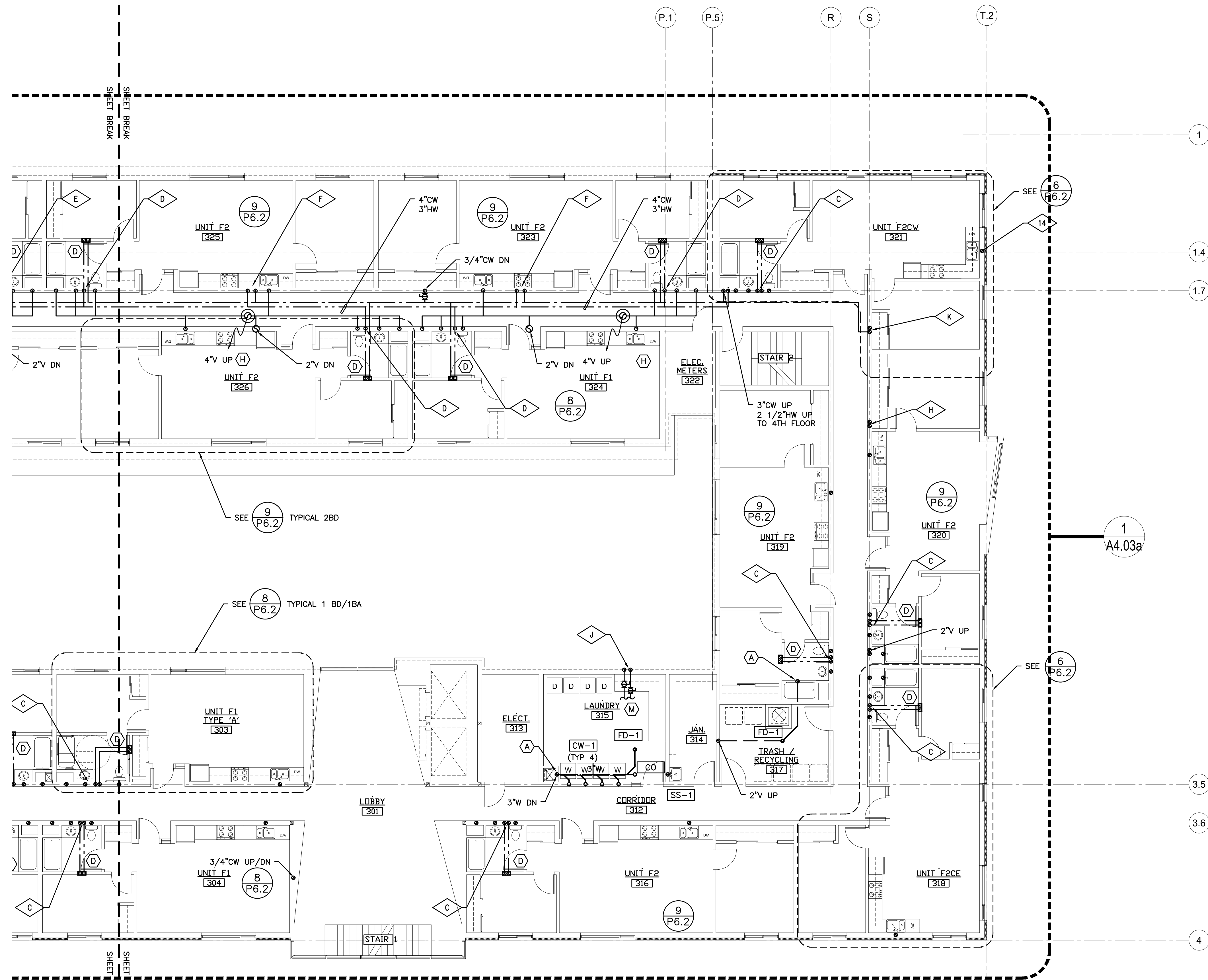
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- (C) - 1-1/2" HWR WITH BALANCING VALVE FOR EACH RISER STACK, SET BALANCING VALVES TO .75 GPM.
- (D) - SEE UNIT DISTRIBUTION DETAIL 3/P6.1.
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1 PLUMBING THIRD FLOOR PLAN - NORTH
SCALE: 1/8" = 1'-0"

M Consulting Engineers
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Portland, OR 97214
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CONTACT: Takako Baker

KING+PARKS MULTI-FAMILY RESIDENCES

PROJECT SITE: NE Martin Luther King Jr. Boulevard & N Rosa Parks Way
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PROJECT NO. 16-0602
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SHEET
PLUMBING THIRD FLOOR PLAN - NORTH
P2.2B
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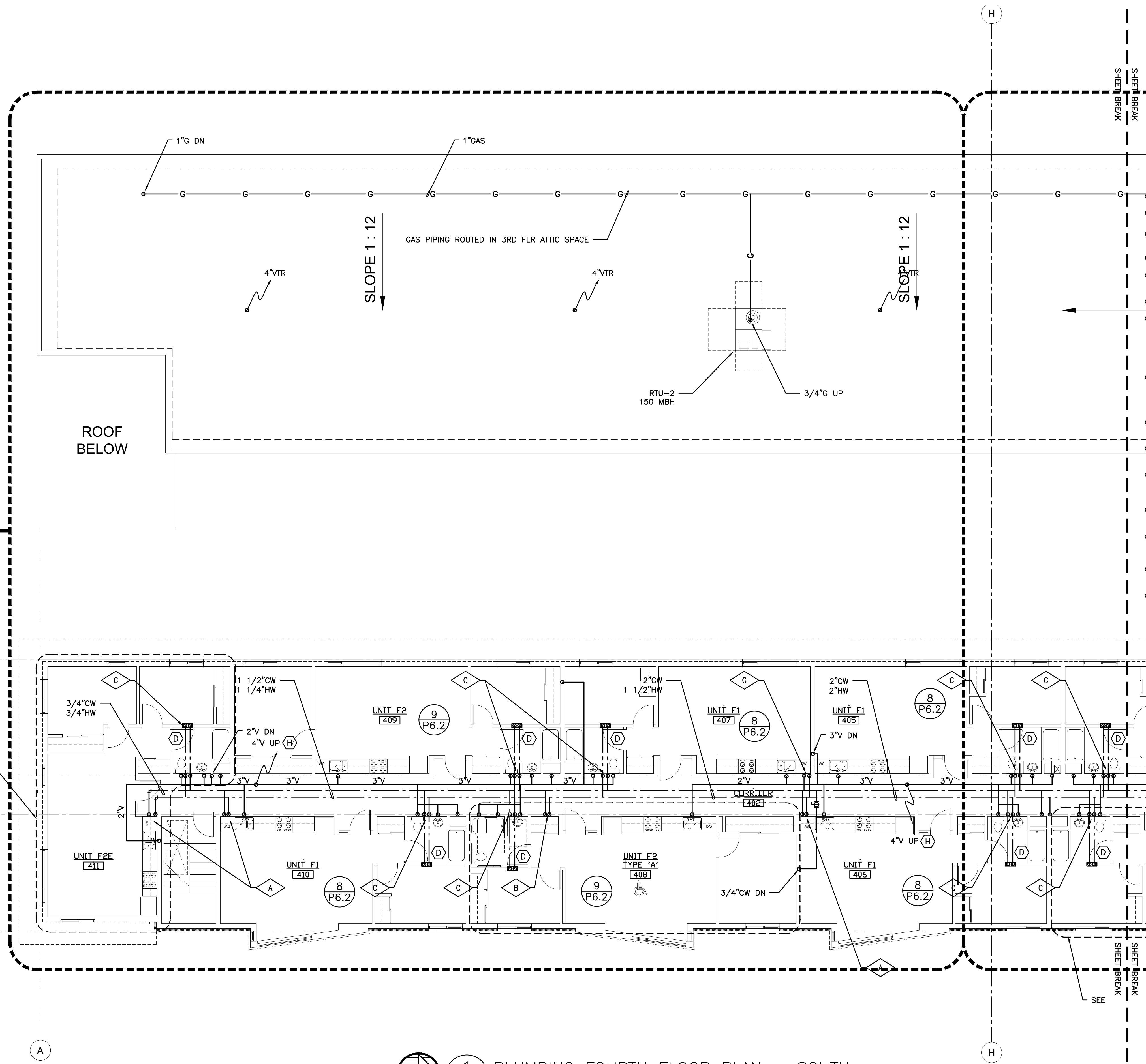
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PROJECT NO. 16-0602
 ISSUE DATE 06.23.2017
 REVISIONS

SHEET
 PLUMBING FOURTH FLOOR PLAN - SOUTH

P2.3A

NOT FOR CONSTRUCTION
PRICING SET
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 SCALE: 1/8" = 1'-0"

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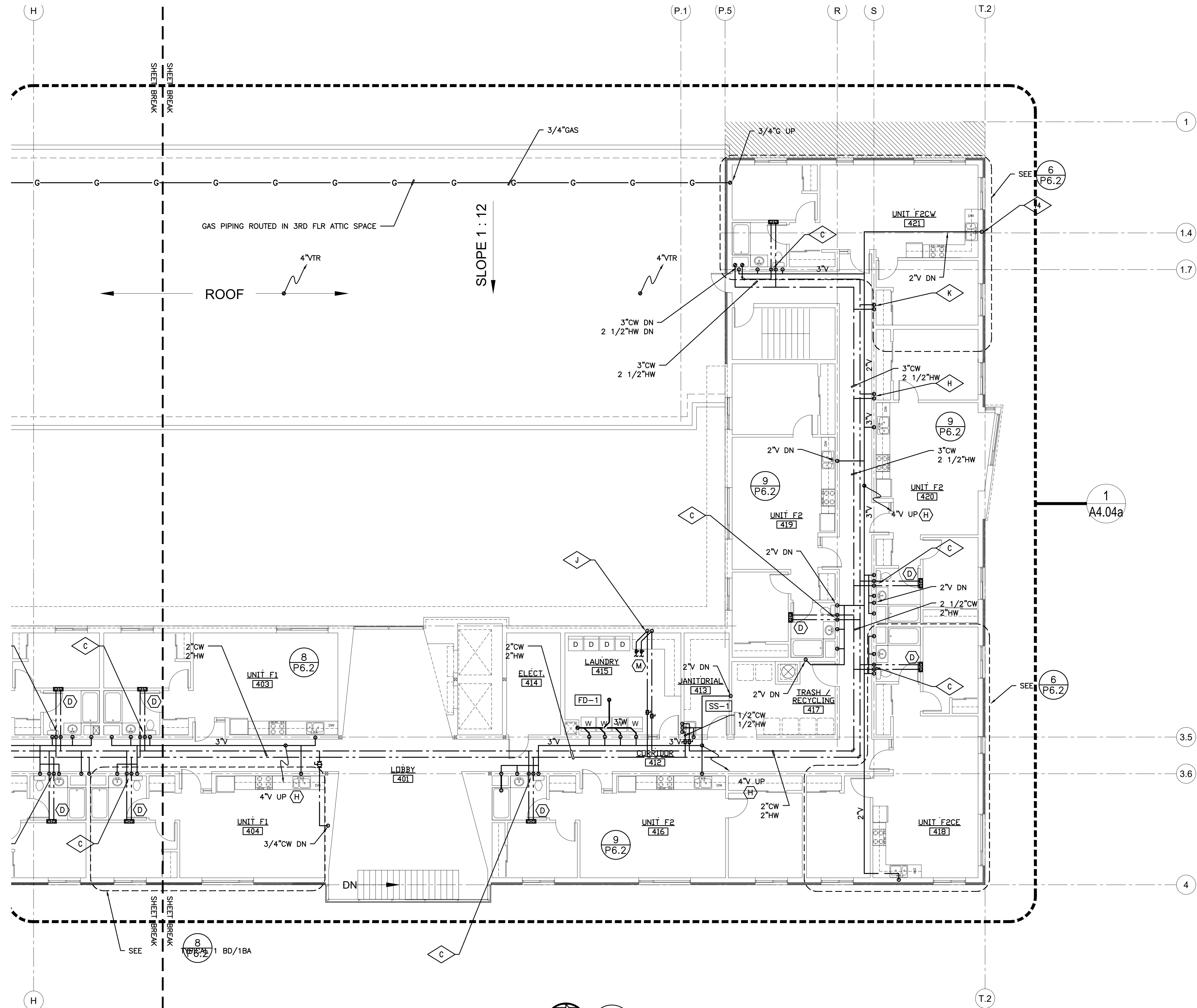
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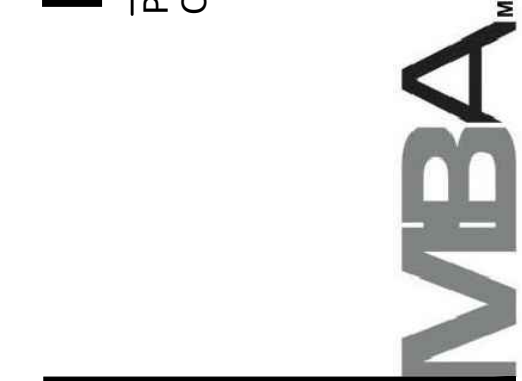


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PROJECT NO. 16-0602
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SHEET
PLUMBING FOURTH FLOOR PLAN - NORTH

P2.3B

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PRICING SET
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PRELIMINARY
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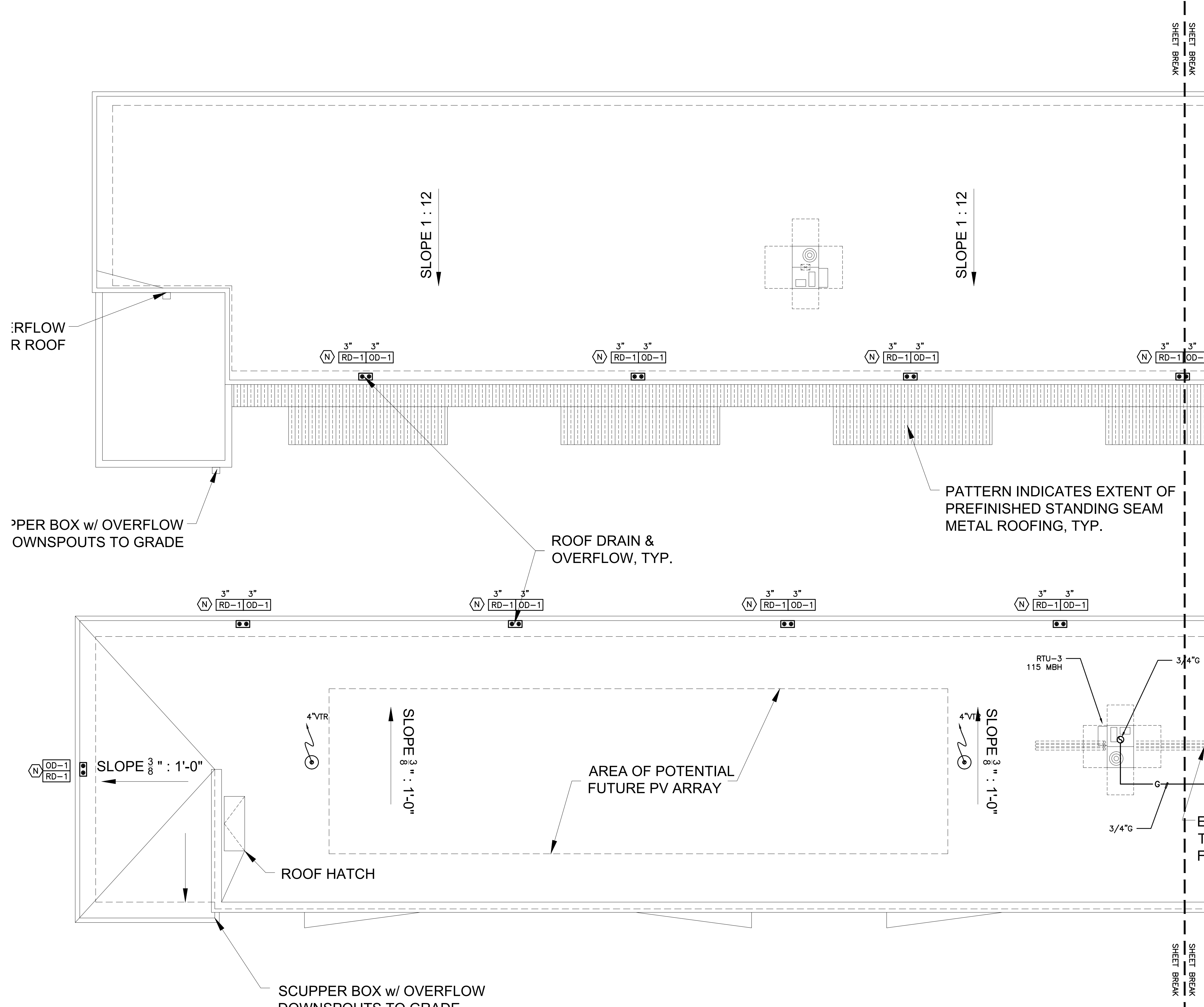
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PROJECT NO. 16-0602
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REVISIONS

SHEET
PLUMBING ROOF PLAN - SOUTH
P2.4A
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GENERAL NOTES:

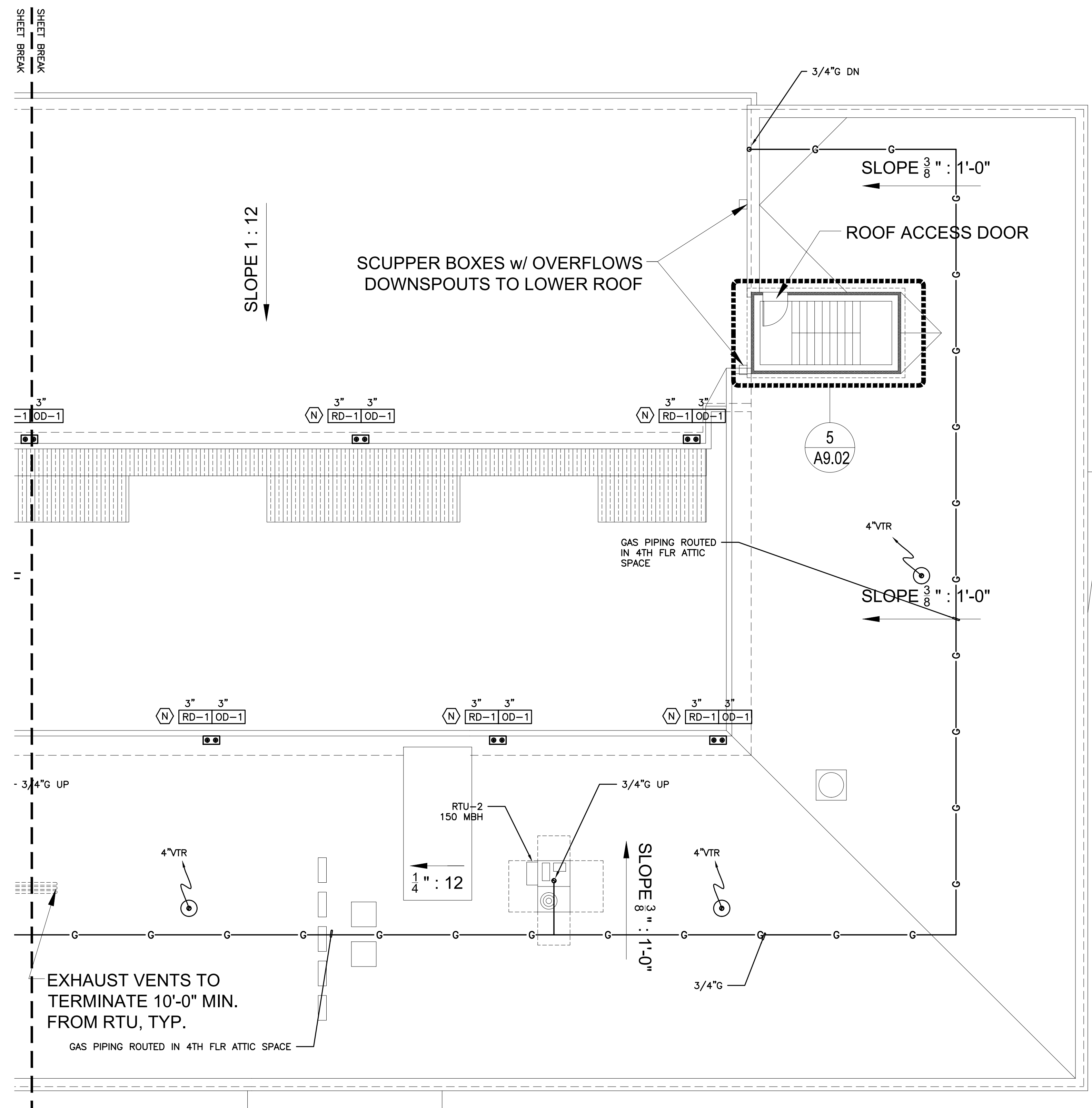
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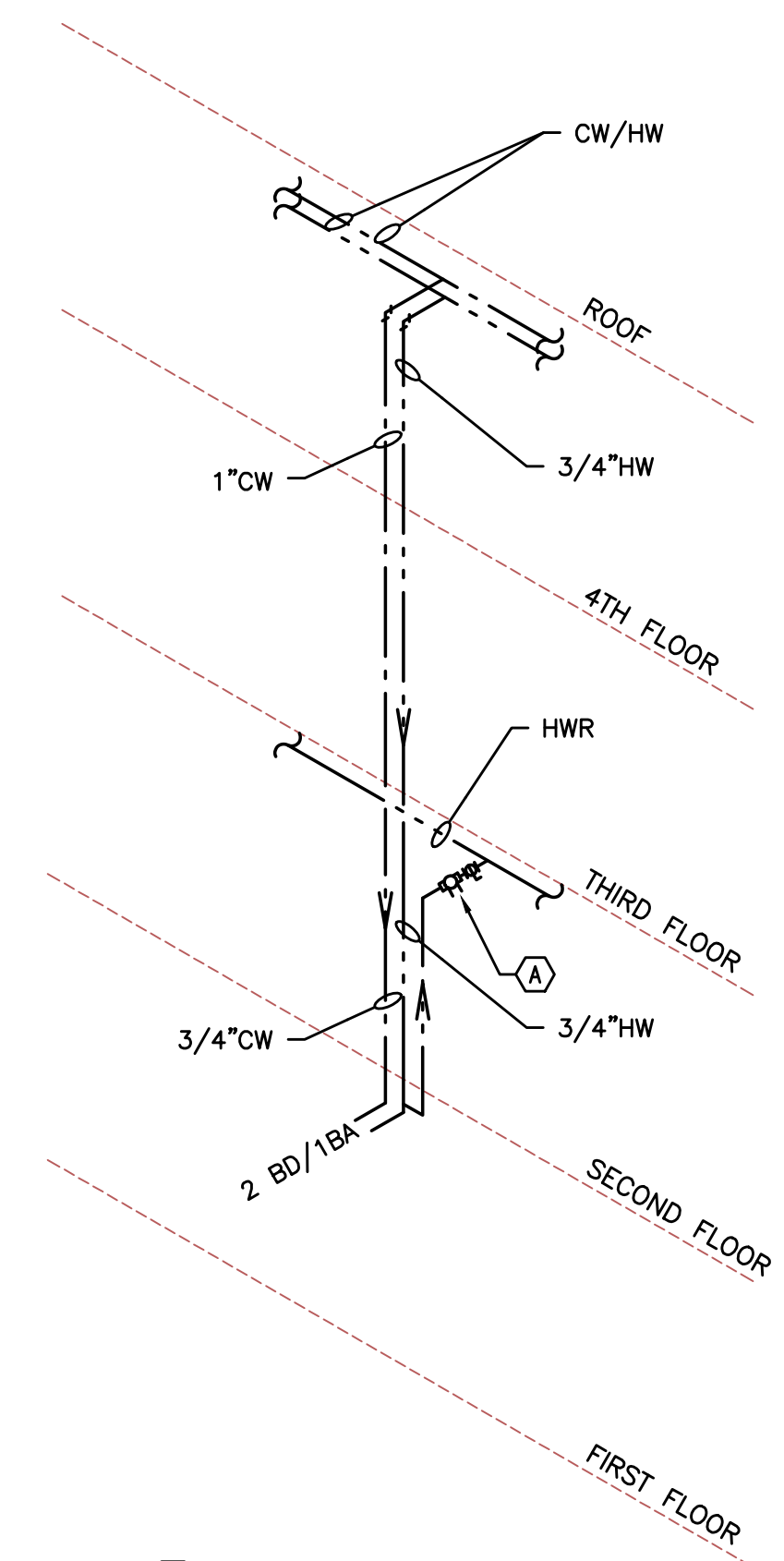
REVISIONS

SHEET
 PLUMBING ROOF
 PLAN - NORTH
P2.4B
 NOT FOR CONSTRUCTION
PRICING SET
 © MERRYMAN BARNES ARCHITECTS, INC.

1
P2.4B
 PLUMBING ROOF PLAN - NORTH
 SCALE: 1/8" = 1'-0"

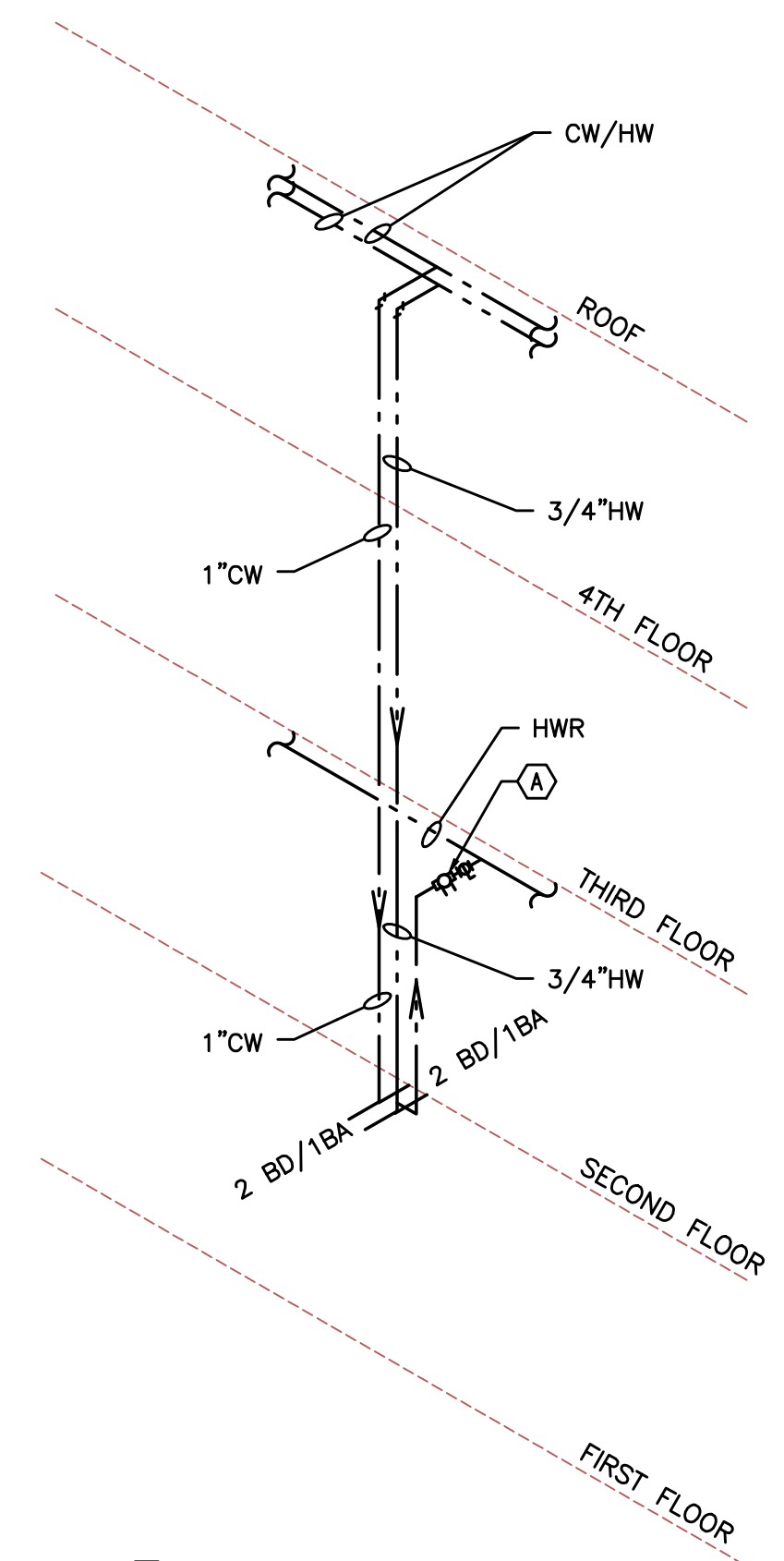
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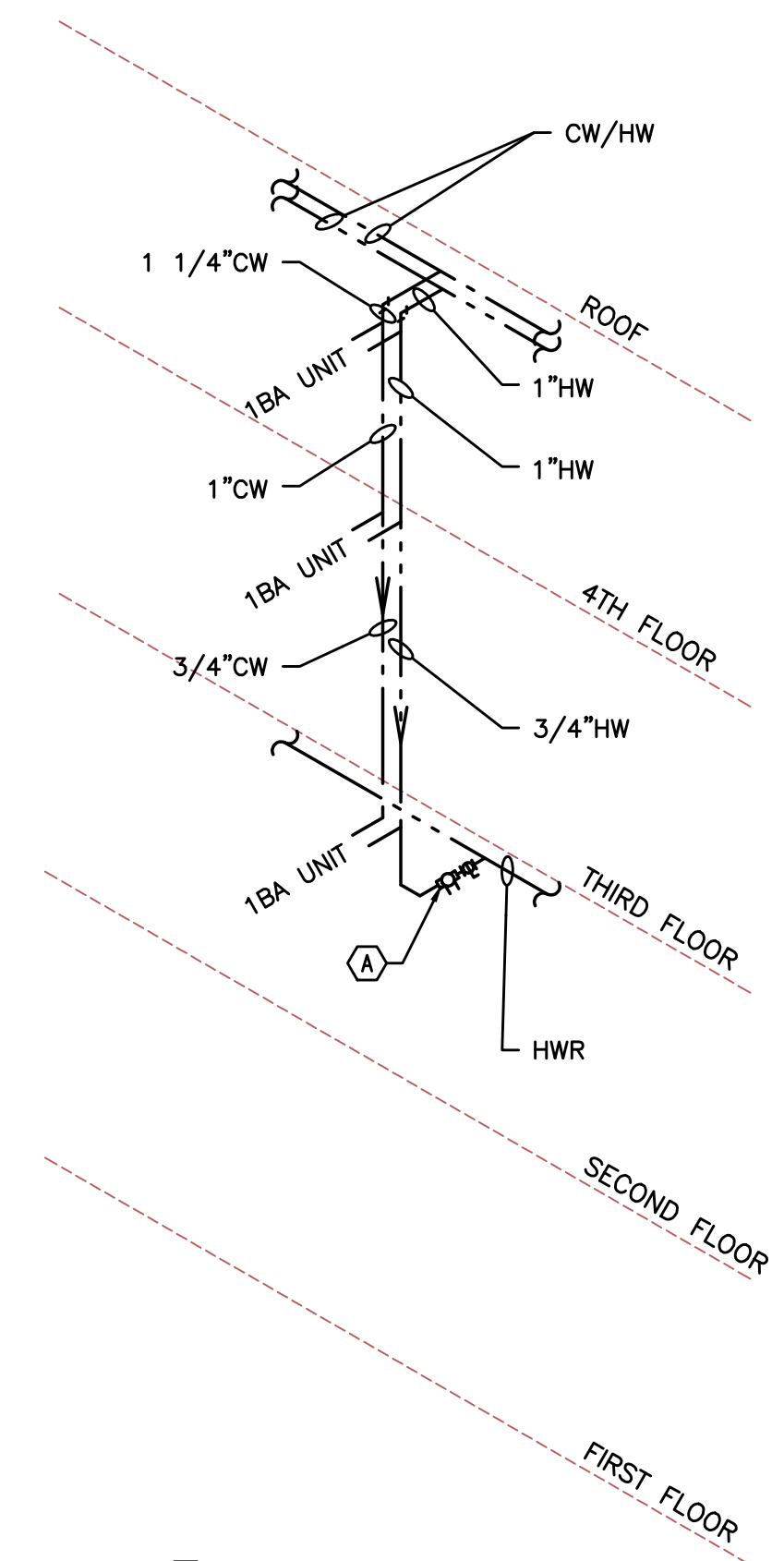
(A) - SET BALANCING VALVE TO 0.75 GPM.

1 RISER "A" TYPICAL
P4.0 NOT TO SCALE



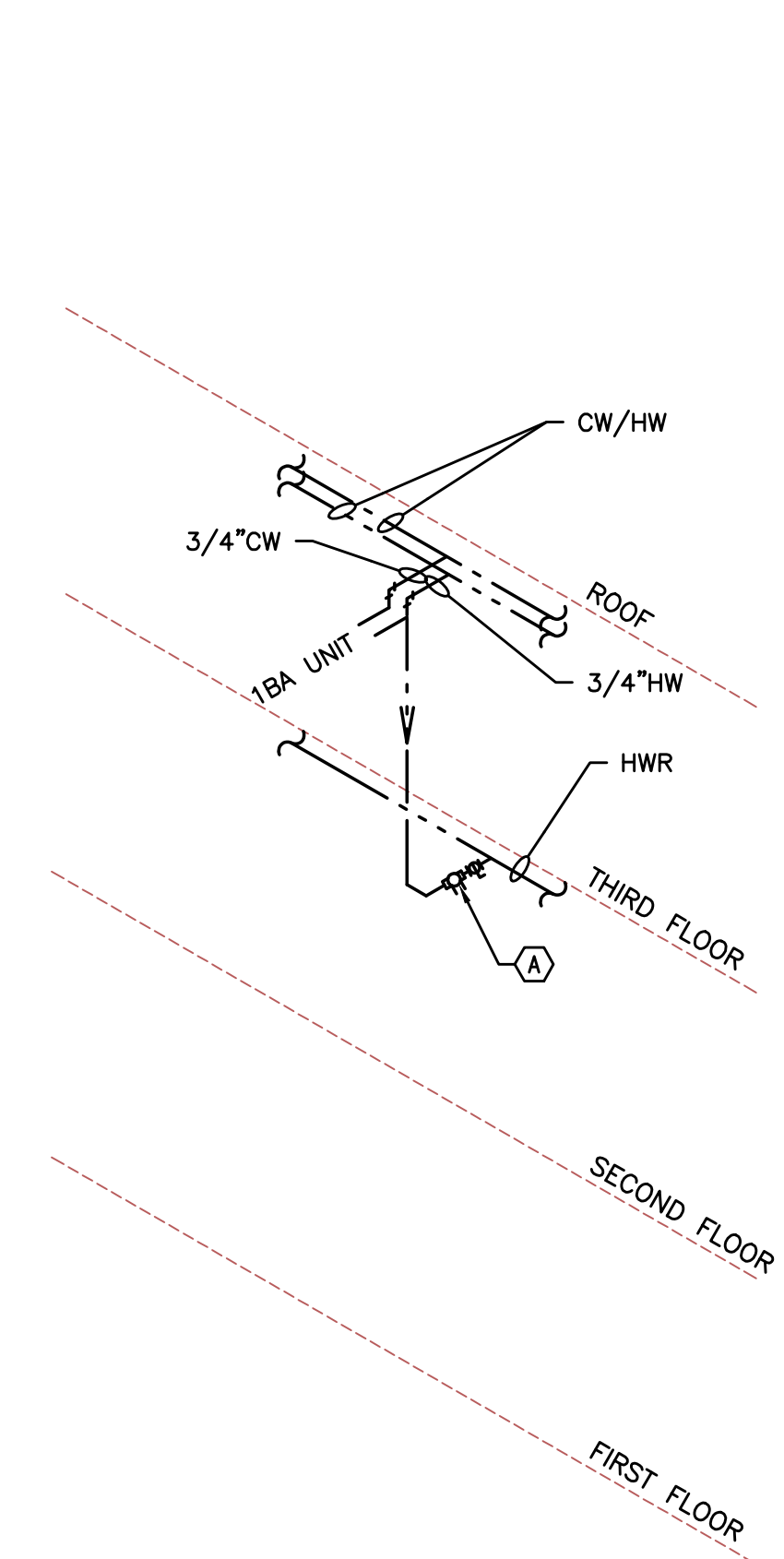
(A) - SET BALANCING VALVE TO 0.75 GPM.

2 RISER "B" TYPICAL
P4.0 NOT TO SCALE



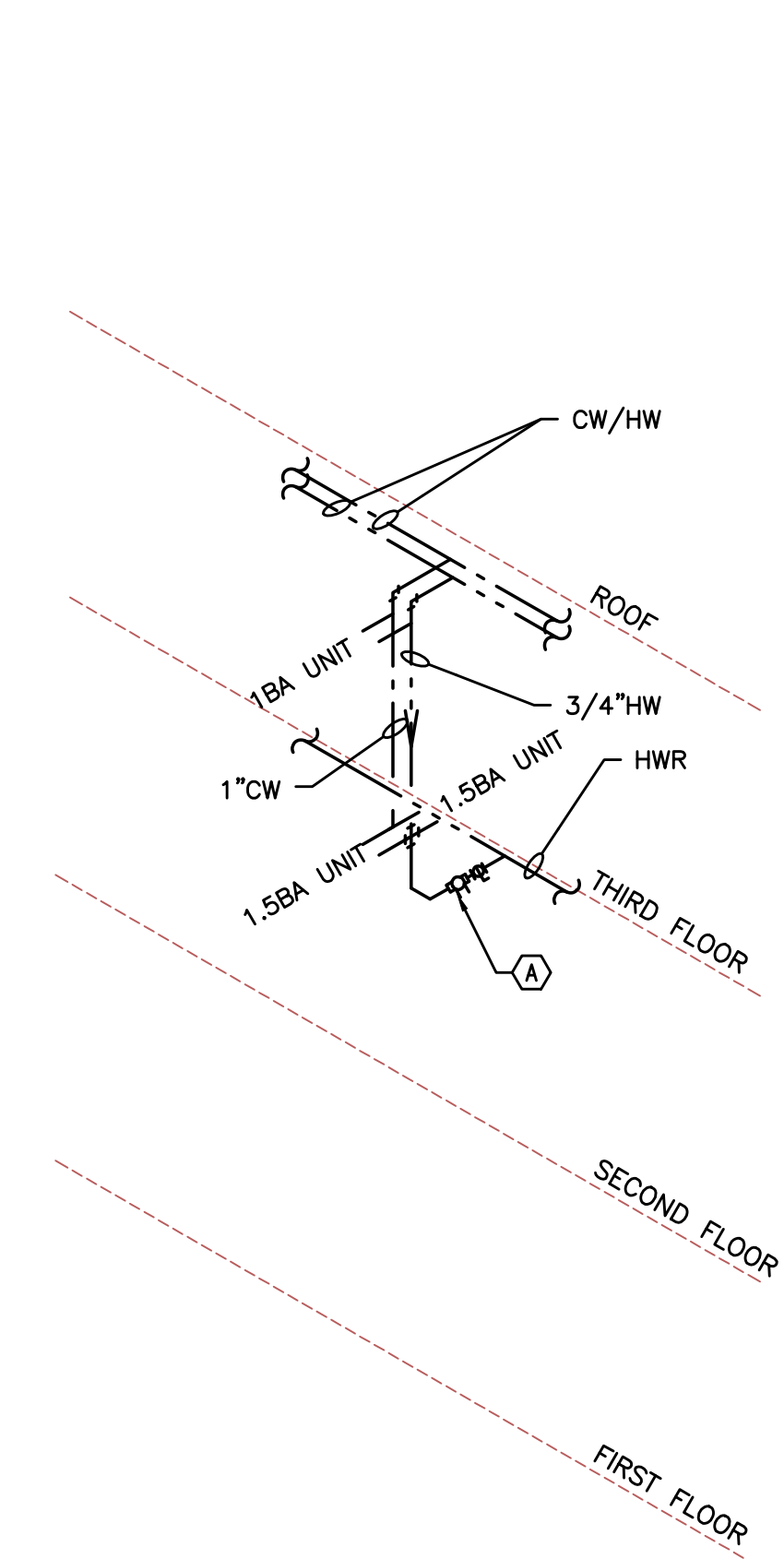
(A) - SET BALANCING VALVE TO 0.75 GPM.

3 RISER "C" TYPICAL
P4.0 NOT TO SCALE



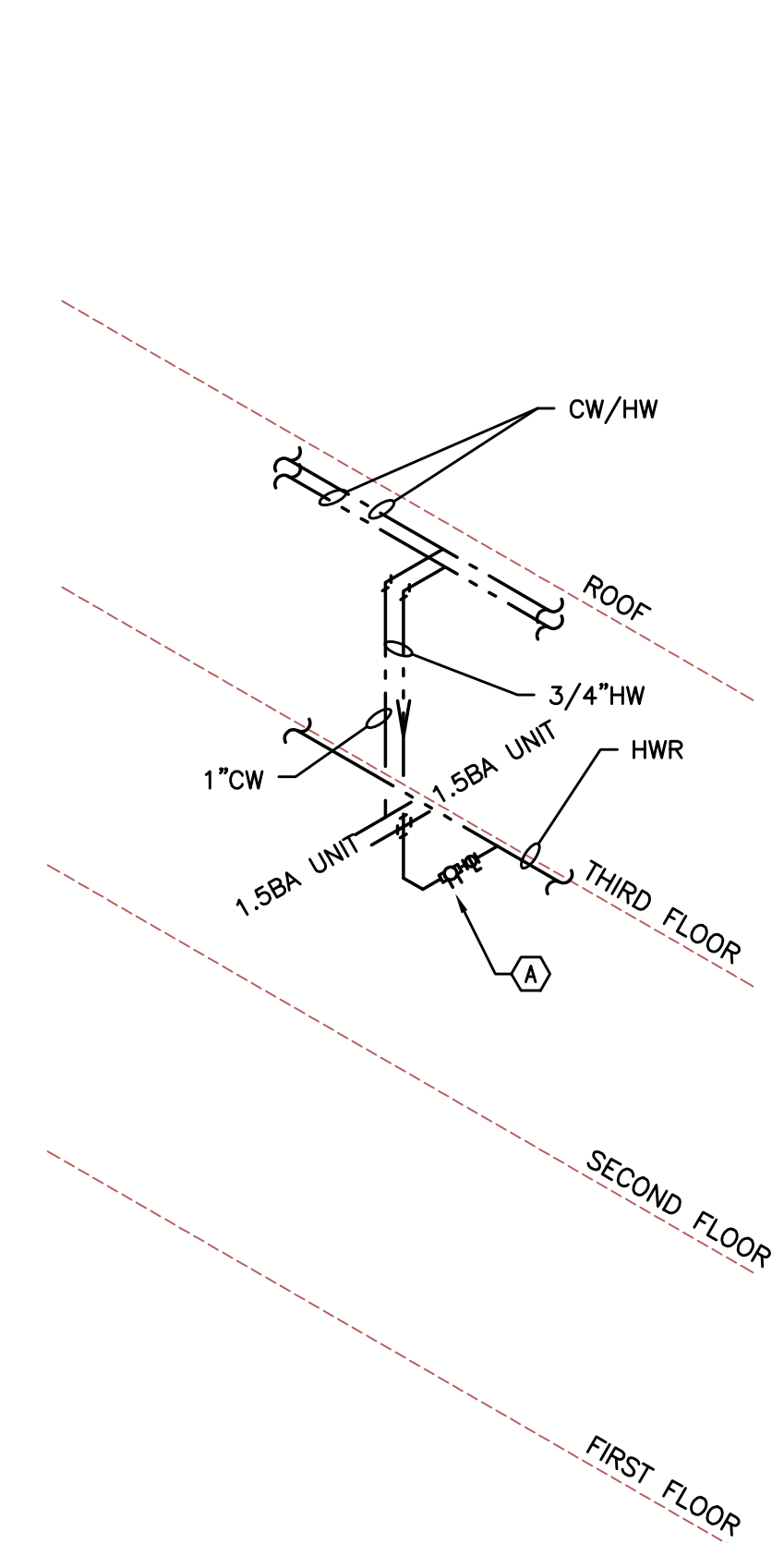
(A) - SET BALANCING VALVE TO 0.75 GPM.

4 RISER "D" TYPICAL
P4.0 NOT TO SCALE



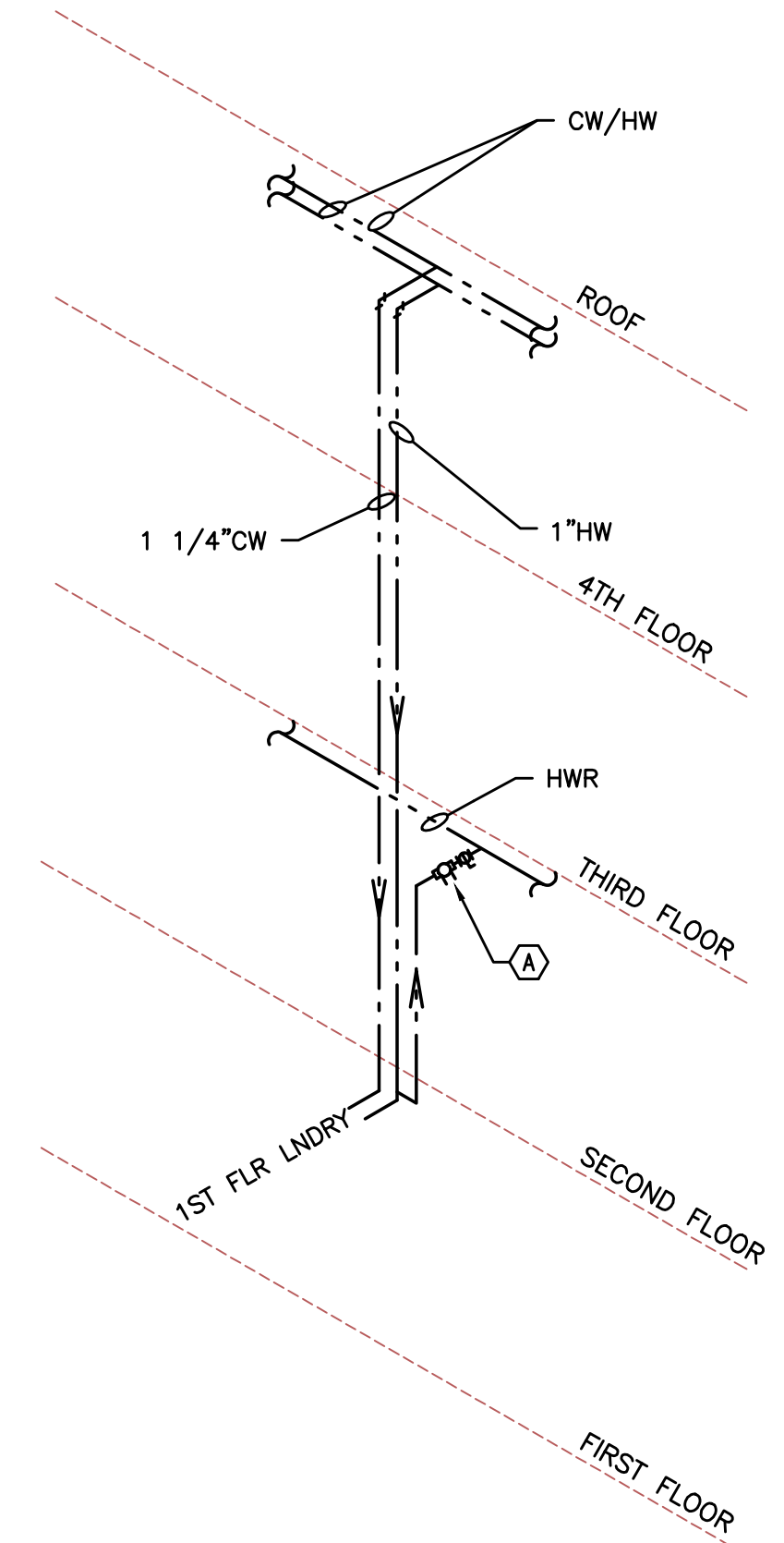
(A) - SET BALANCING VALVE TO 0.75 GPM.

5 RISER "E" TYPICAL
P4.0 NOT TO SCALE



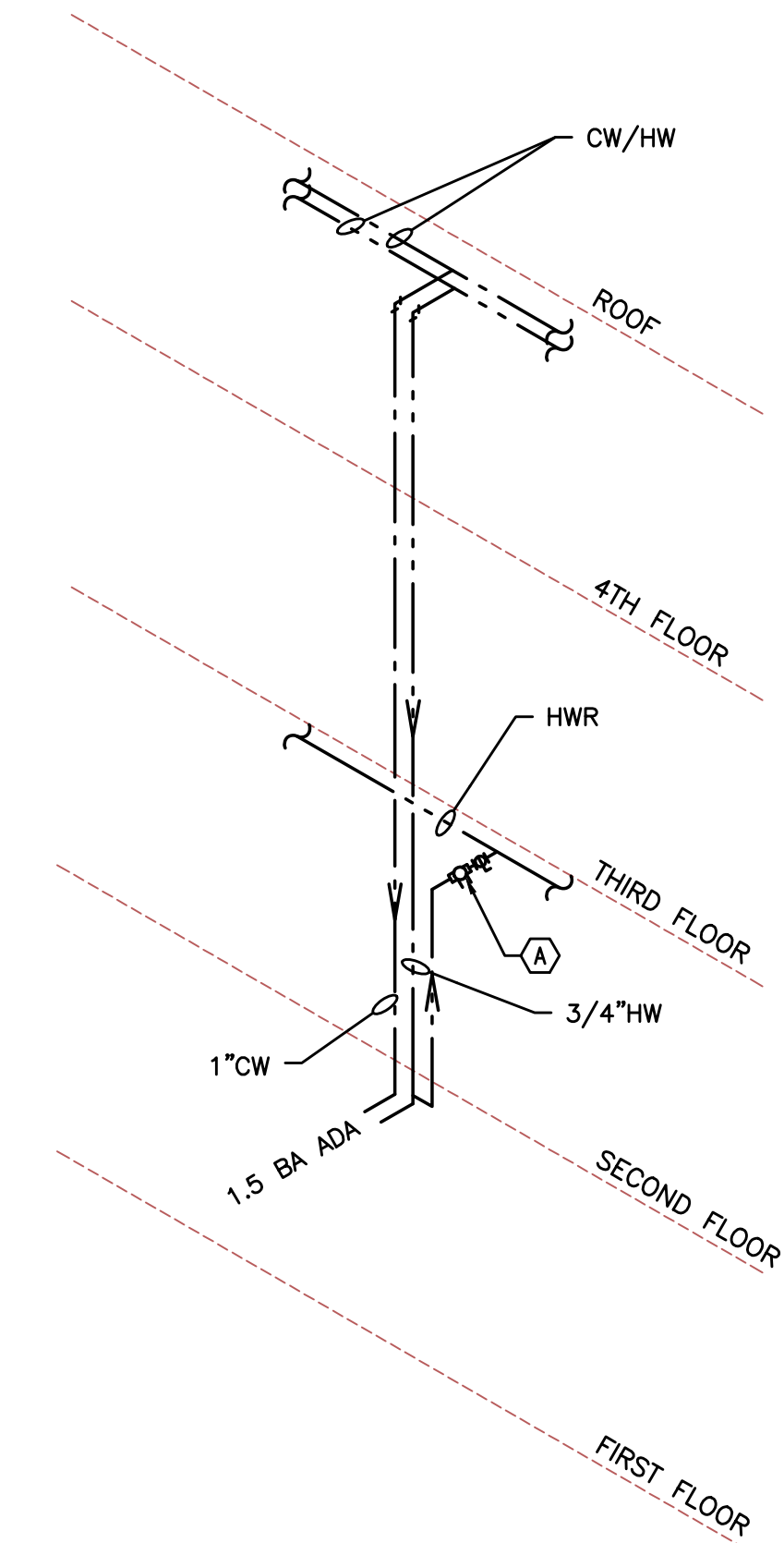
(A) - SET BALANCING VALVE TO 0.75 GPM.

6 RISER "F" TYPICAL
P4.0 NOT TO SCALE



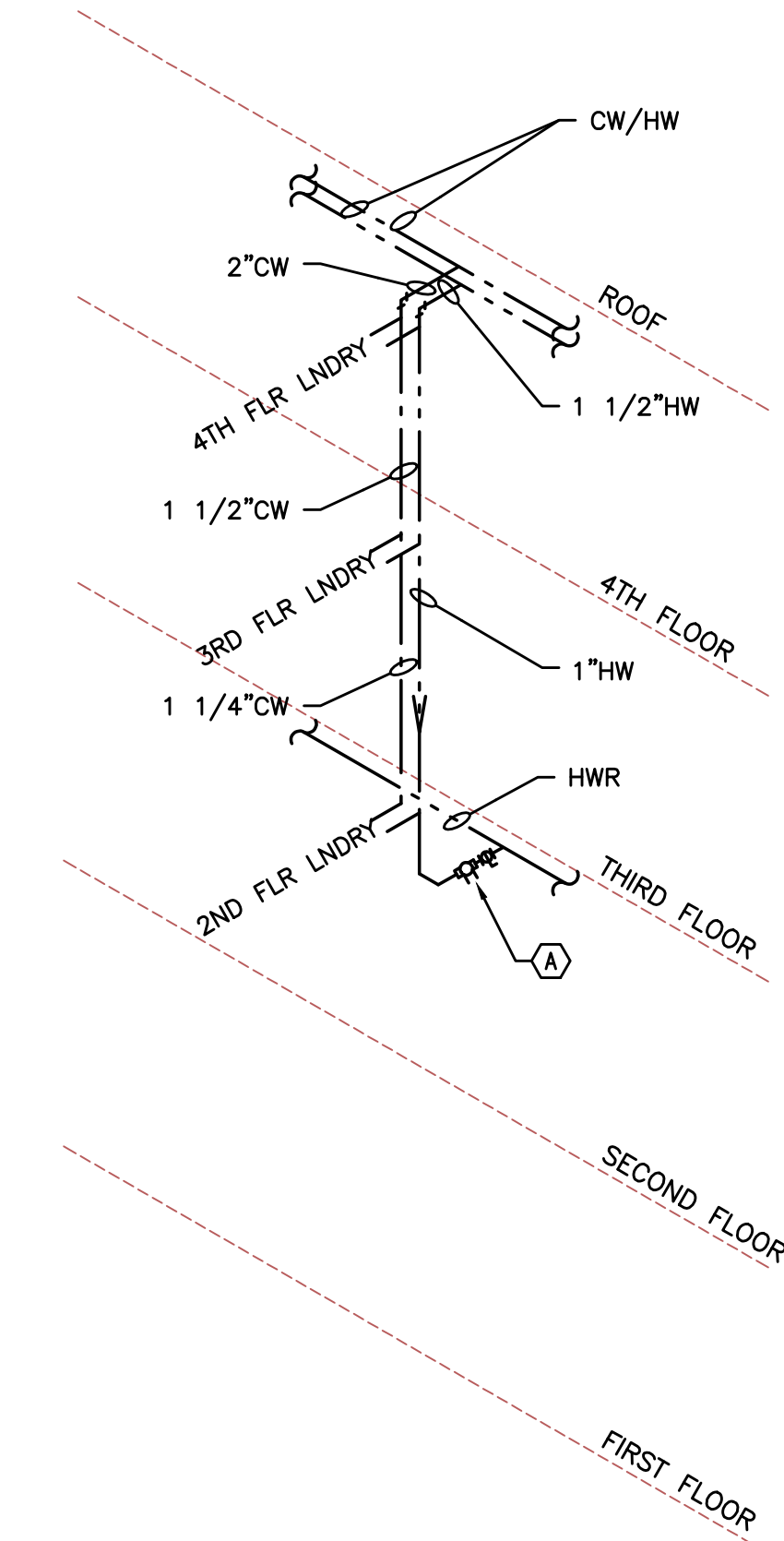
(A) - SET BALANCING VALVE TO 0.75 GPM.

7 RISER "G" TYPICAL
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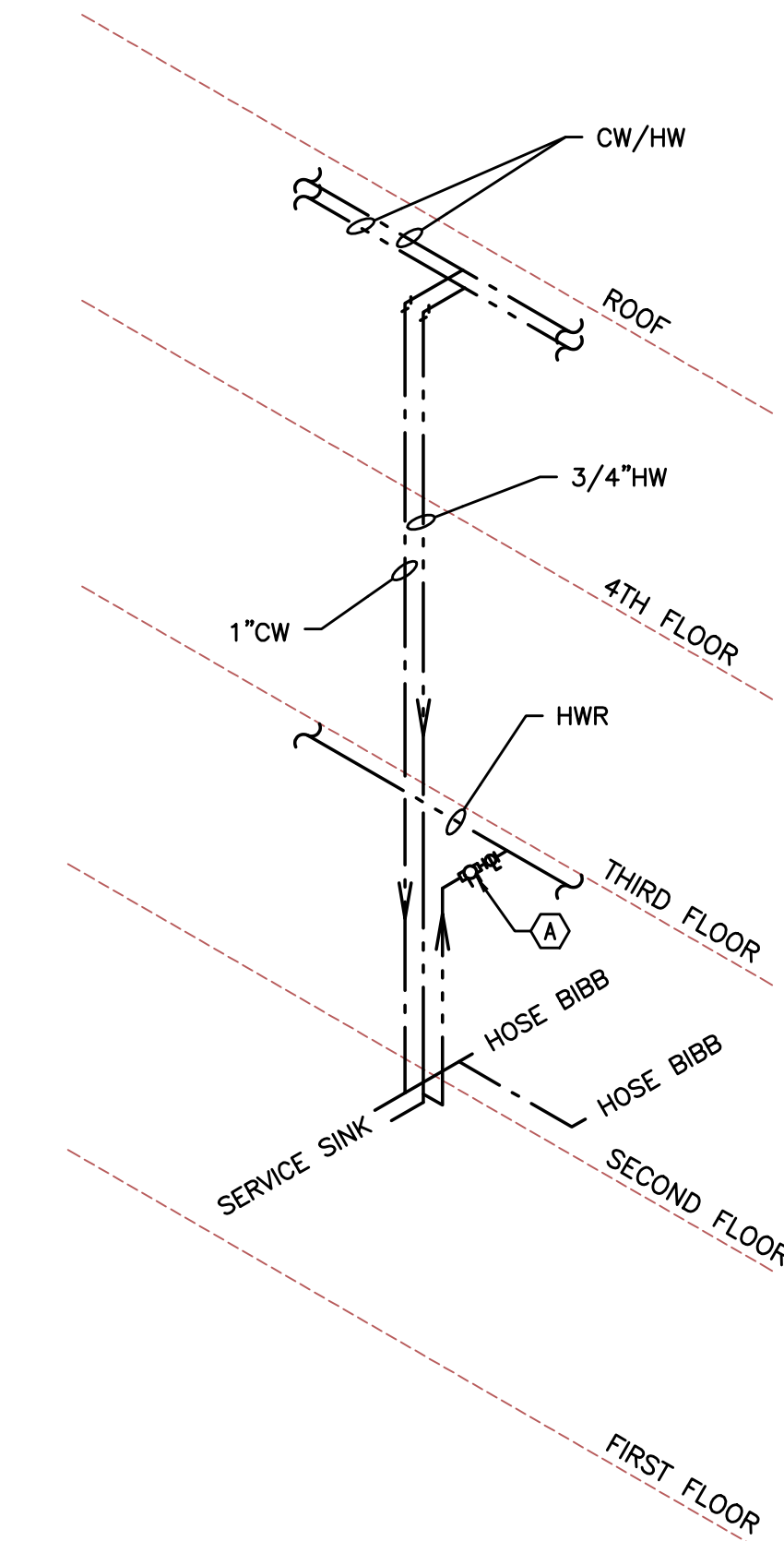
(A) - SET BALANCING VALVE TO 0.75 GPM.

8 RISER "H" TYPICAL
P4.0 NOT TO SCALE



(A) - SET BALANCING VALVE TO 0.75 GPM.

9 RISER "J" TYPICAL
P4.0 NOT TO SCALE



(A) - SET BALANCING VALVE TO 0.75 GPM.

10 RISER "K" TYPICAL
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MERRYMAN BARNES ARCHITECTS 4715 N ALBINA AVE SUITE 304 PORTLAND, OREGON 97217 P. 503.222.3753 WWW.MERRYMANBARNESARCHITECTS.COM

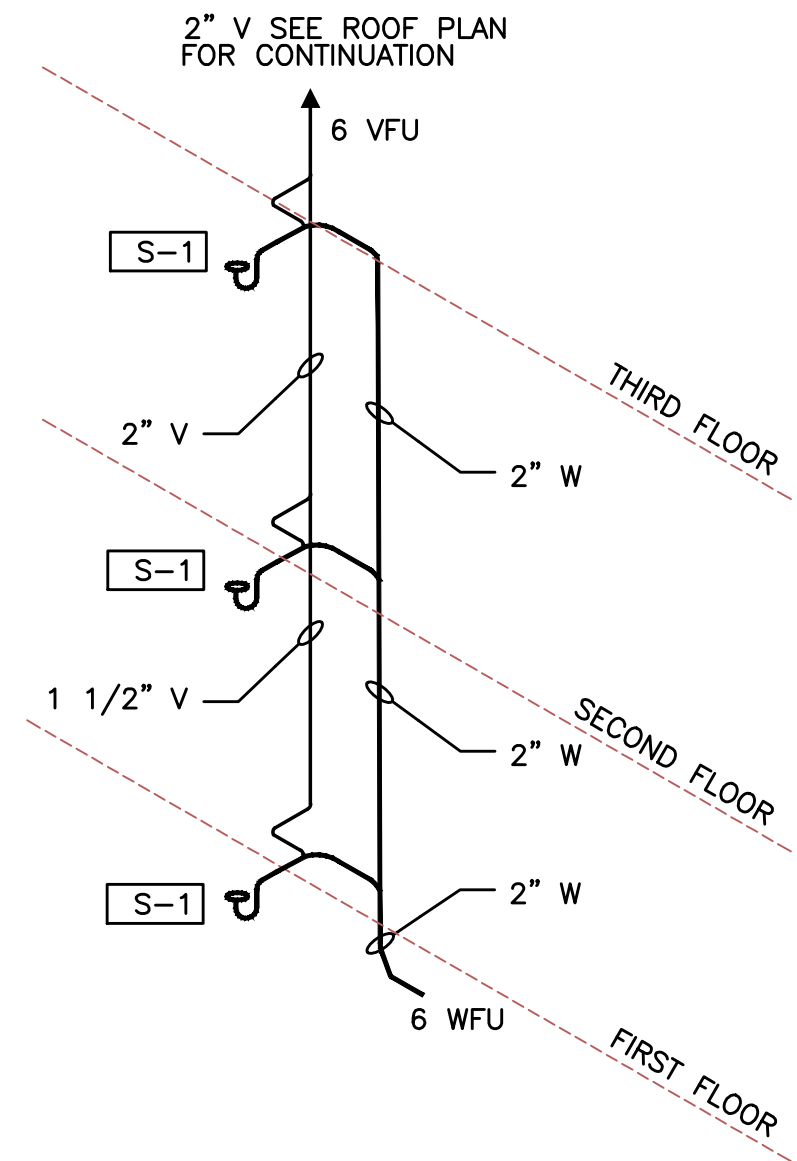
PROJECT NO. 16-0602
ISSUE DATE 06.23.2017

REVISIONS

SHEET
DOMESTIC WATER RISERS

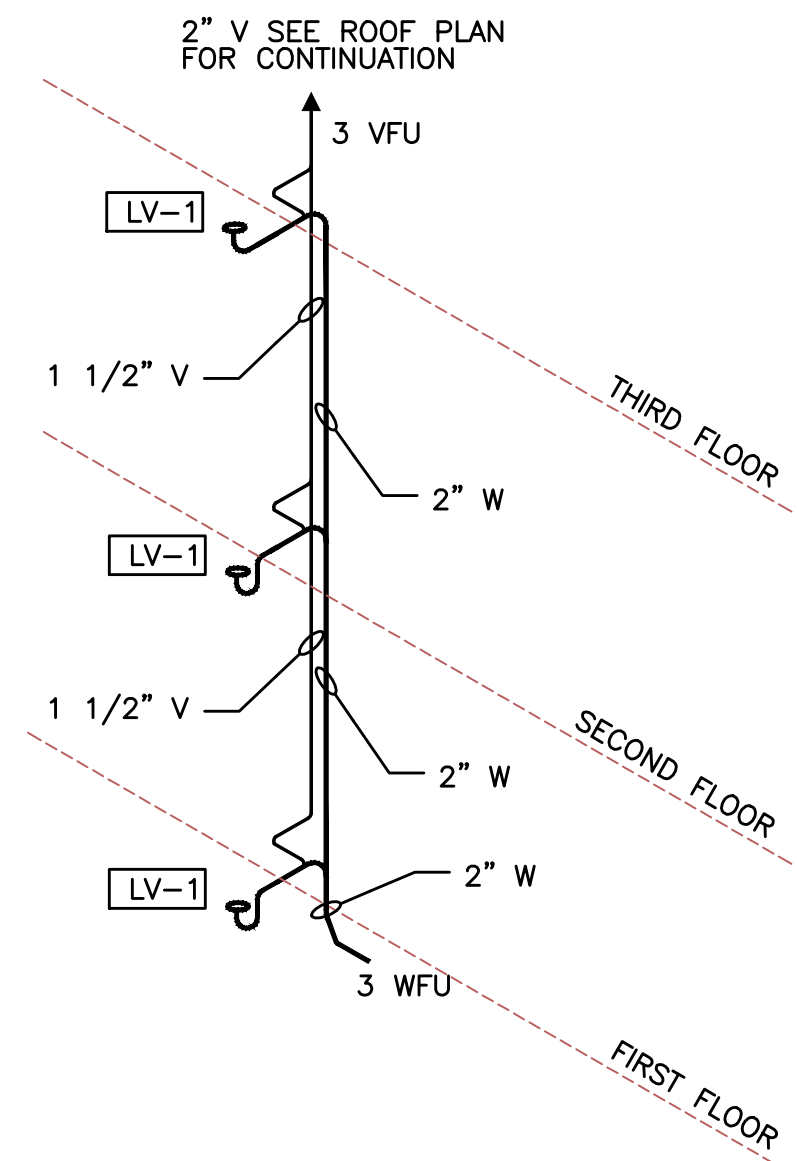
P4.0

NOT FOR CONSTRUCTION
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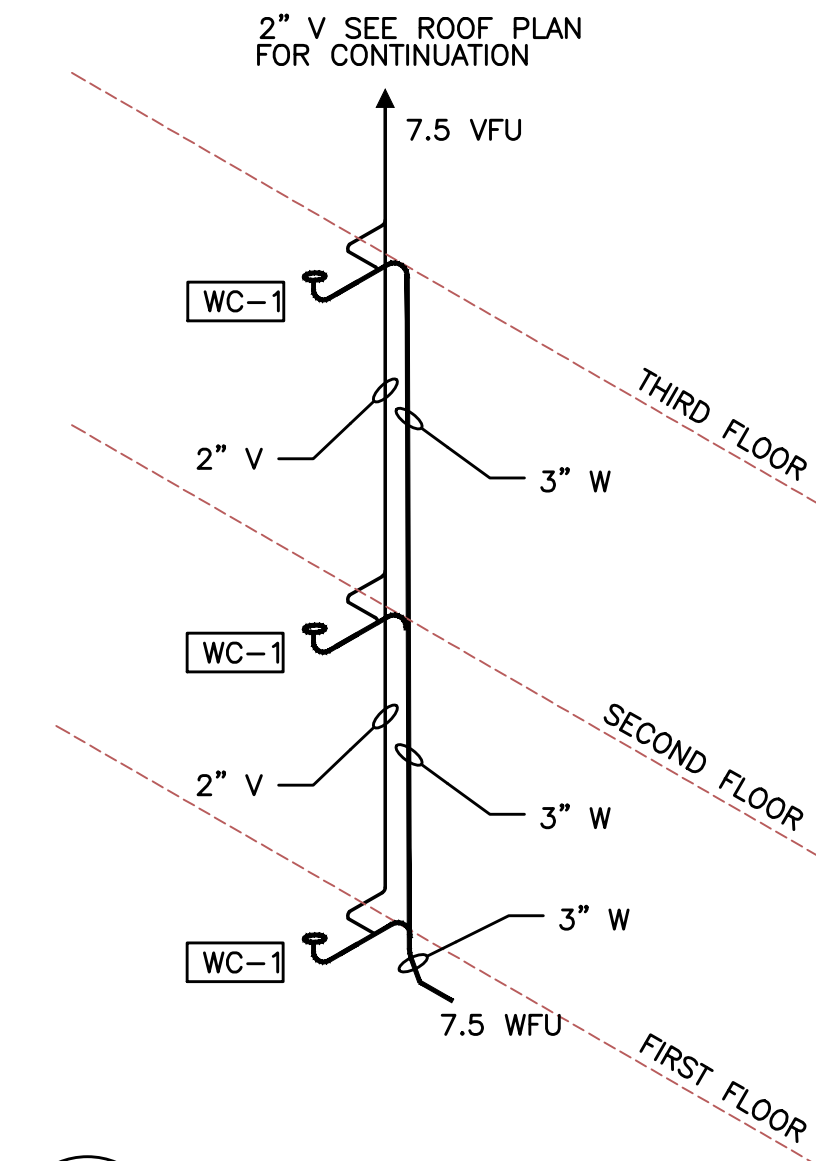


1 RISER "1" TYPICAL
P5.0 NOT TO SCALE

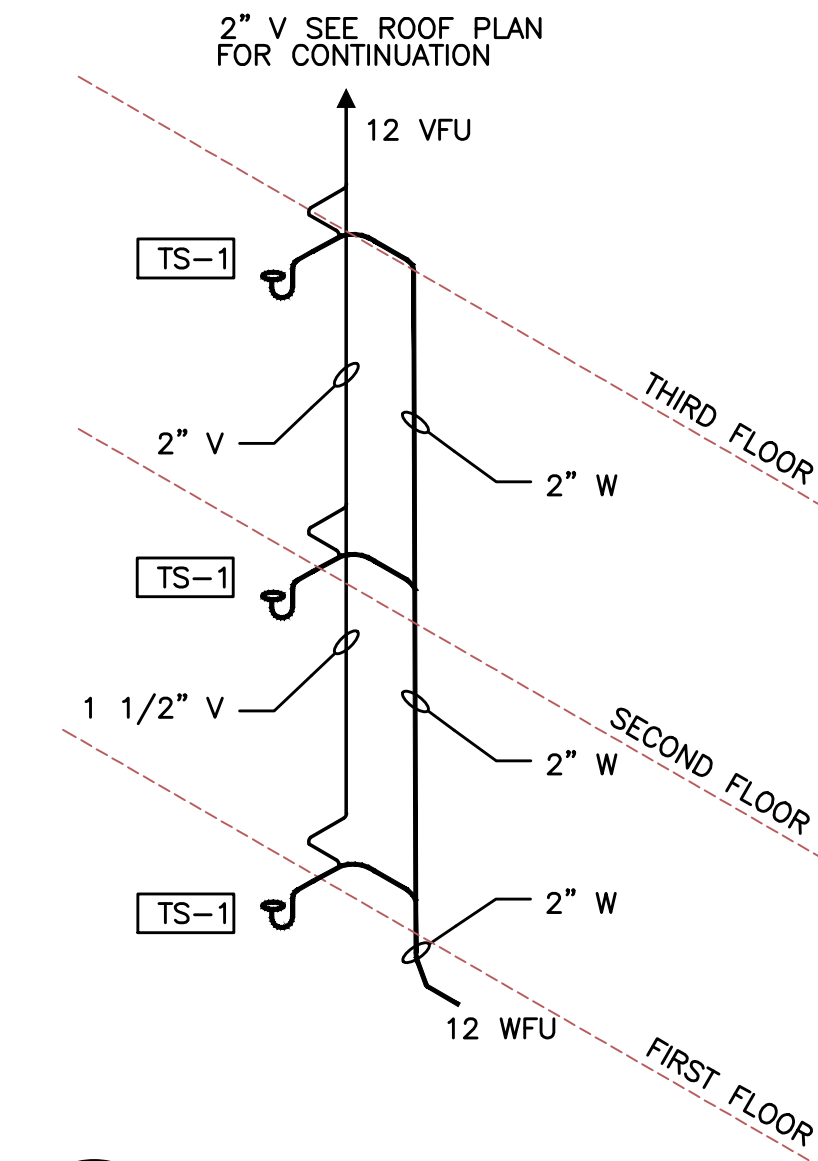
NOTE: DRAINAGE CONNECTIONS SHALL NOT BE MADE INTO A DRAINAGE PIPING SYSTEM WITHIN 8 FT OF ANY VERTICAL TO HORIZONTAL CHANGE OF DIRECTION OF A STACK CONTAINING A SUDS- PRODUCING FIXTURE. EXCEPTION: STACKS RECEIVING THE DISCHARGE FROM LESS THEN 3 STORIES OF PLUMBING FIXTURES.



2 RISER "2" TYPICAL
P5.0 NOT TO SCALE

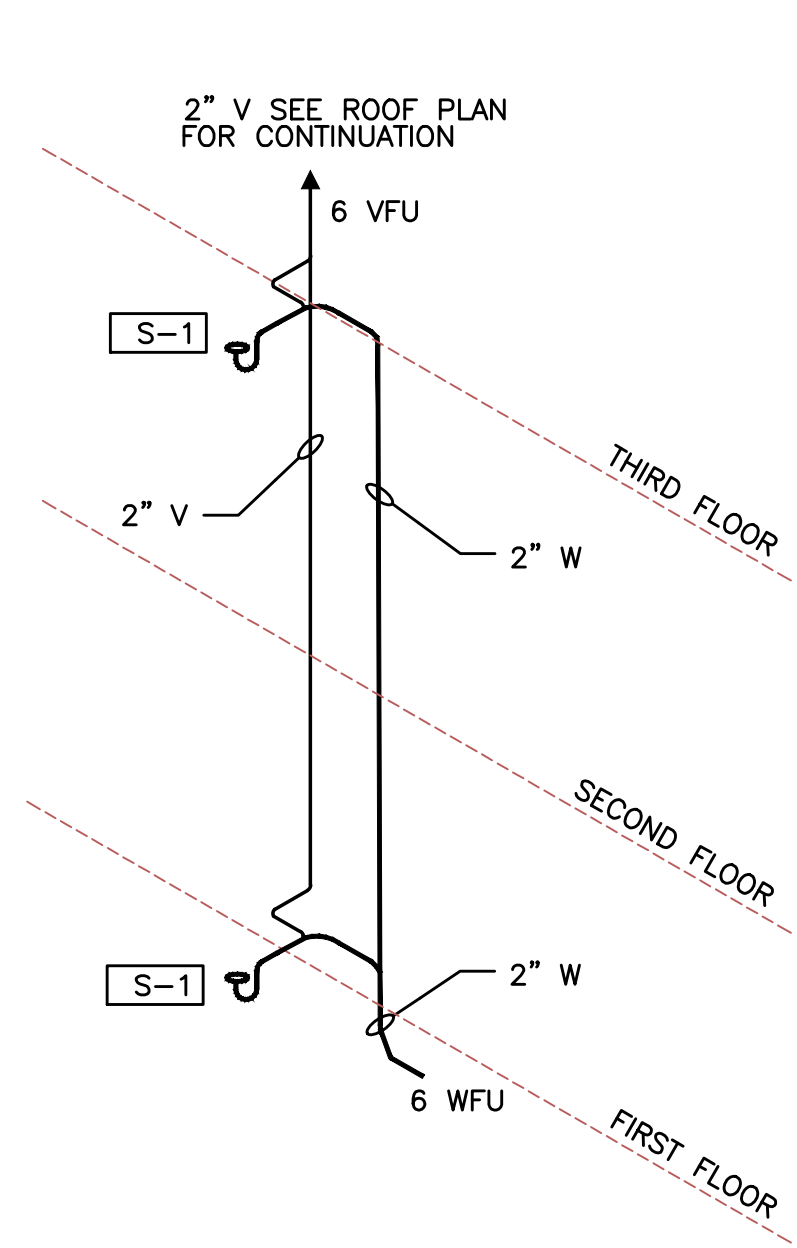


3 RISER "3" TYPICAL
P5.0 NOT TO SCALE

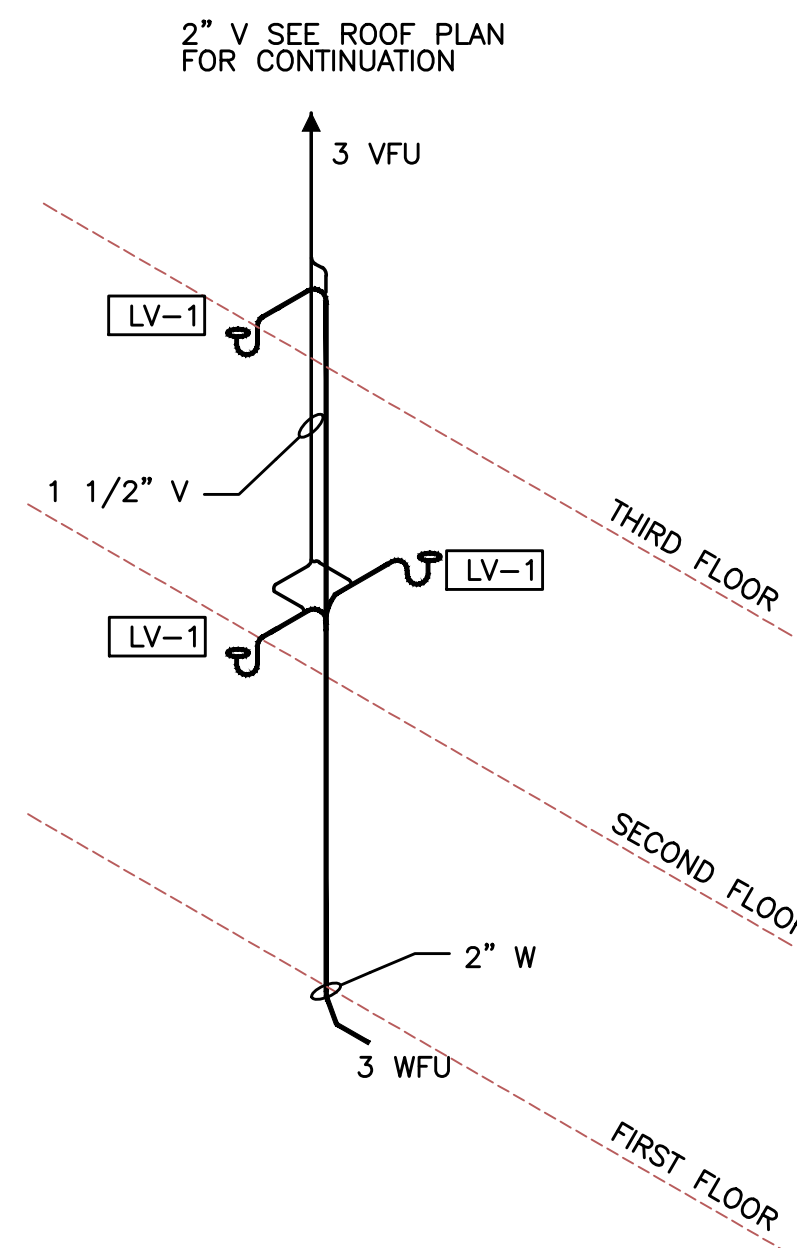


4 RISER "4" TYPICAL
P5.0 NOT TO SCALE

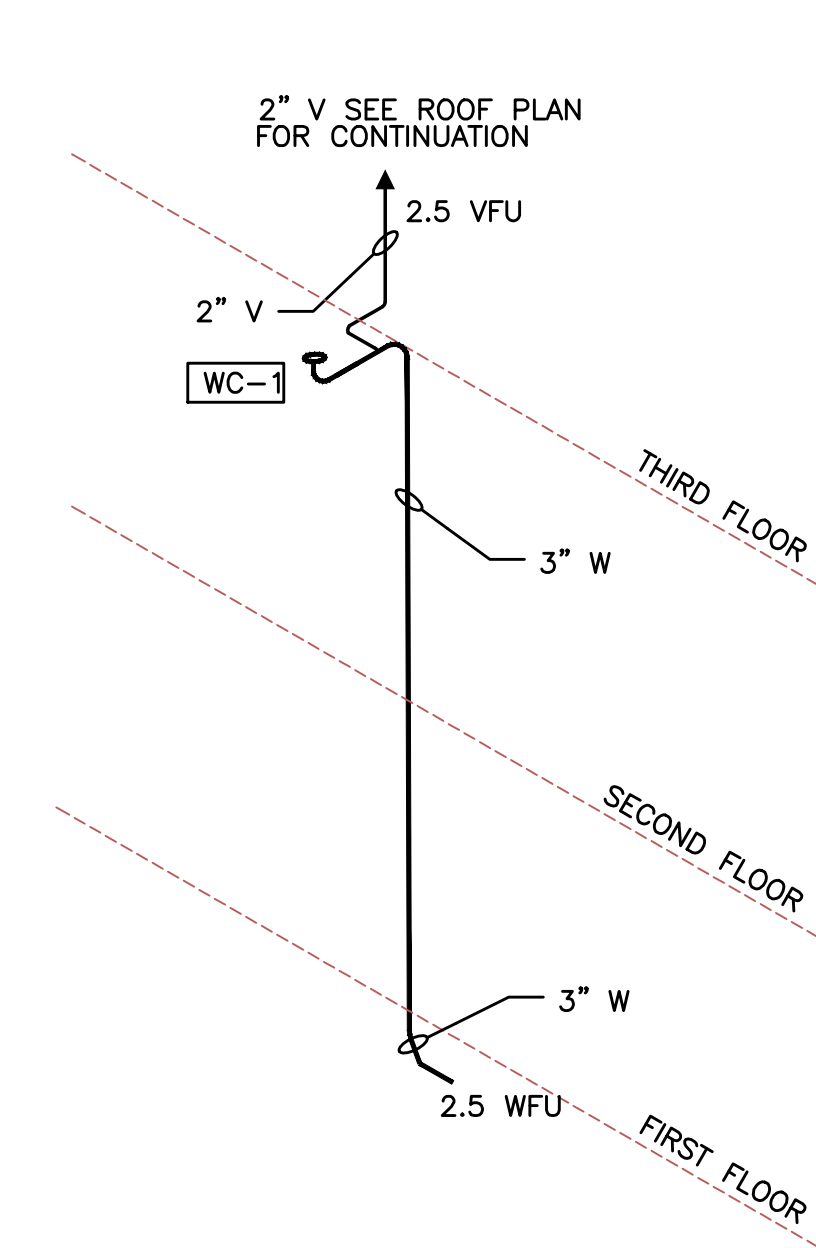
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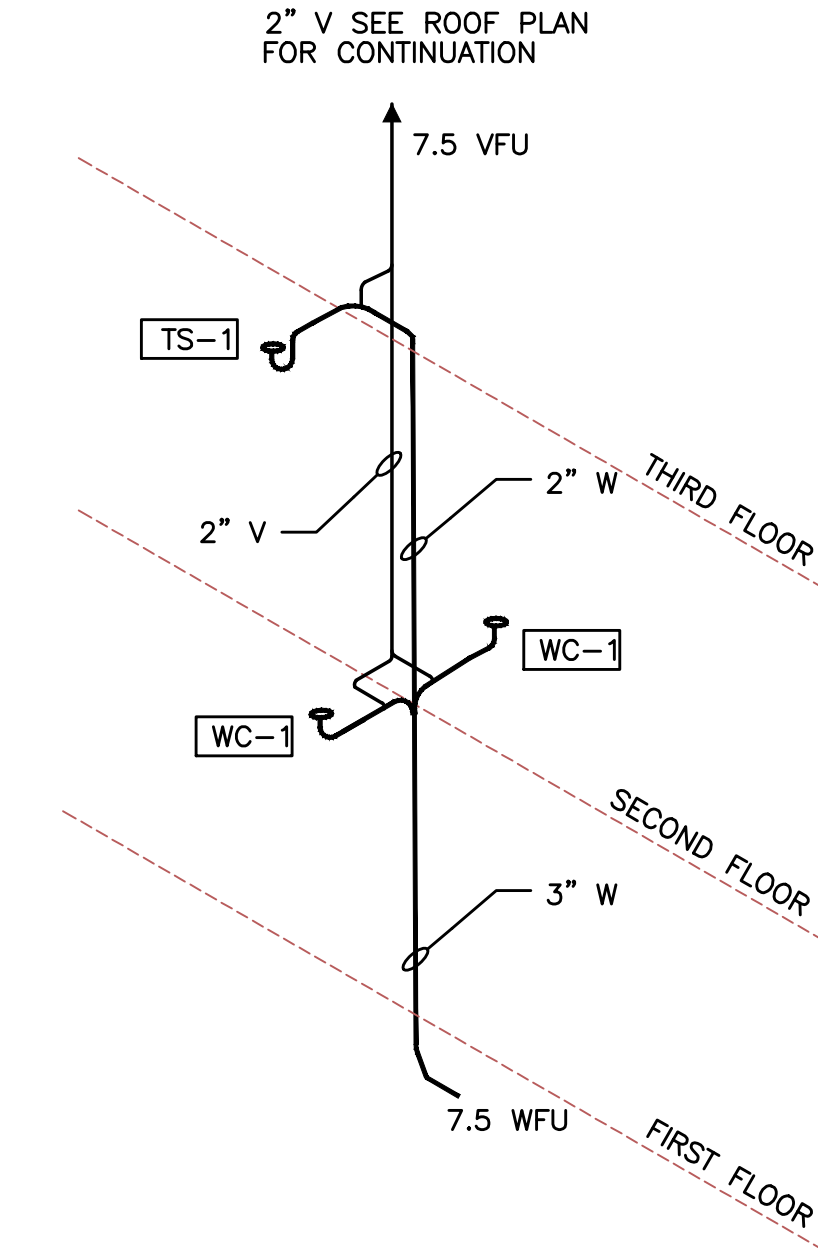
5 RISER "5" TYPICAL
P5.0 NOT TO SCALE



6 RISER "6" TYPICAL
P5.0 NOT TO SCALE



7 RISER "7" TYPICAL
P5.0 NOT TO SCALE



8 RISER "8" TYPICAL
P5.0 NOT TO SCALE

KING+PARKS MULTI-FAMILY RESIDENCES

PROJECT SITE: NE Martin Luther King Jr. Boulevard & N Rosa Parks Way
OWNER: Portland Community Reinvestment Initiatives Inc. (PCRI)
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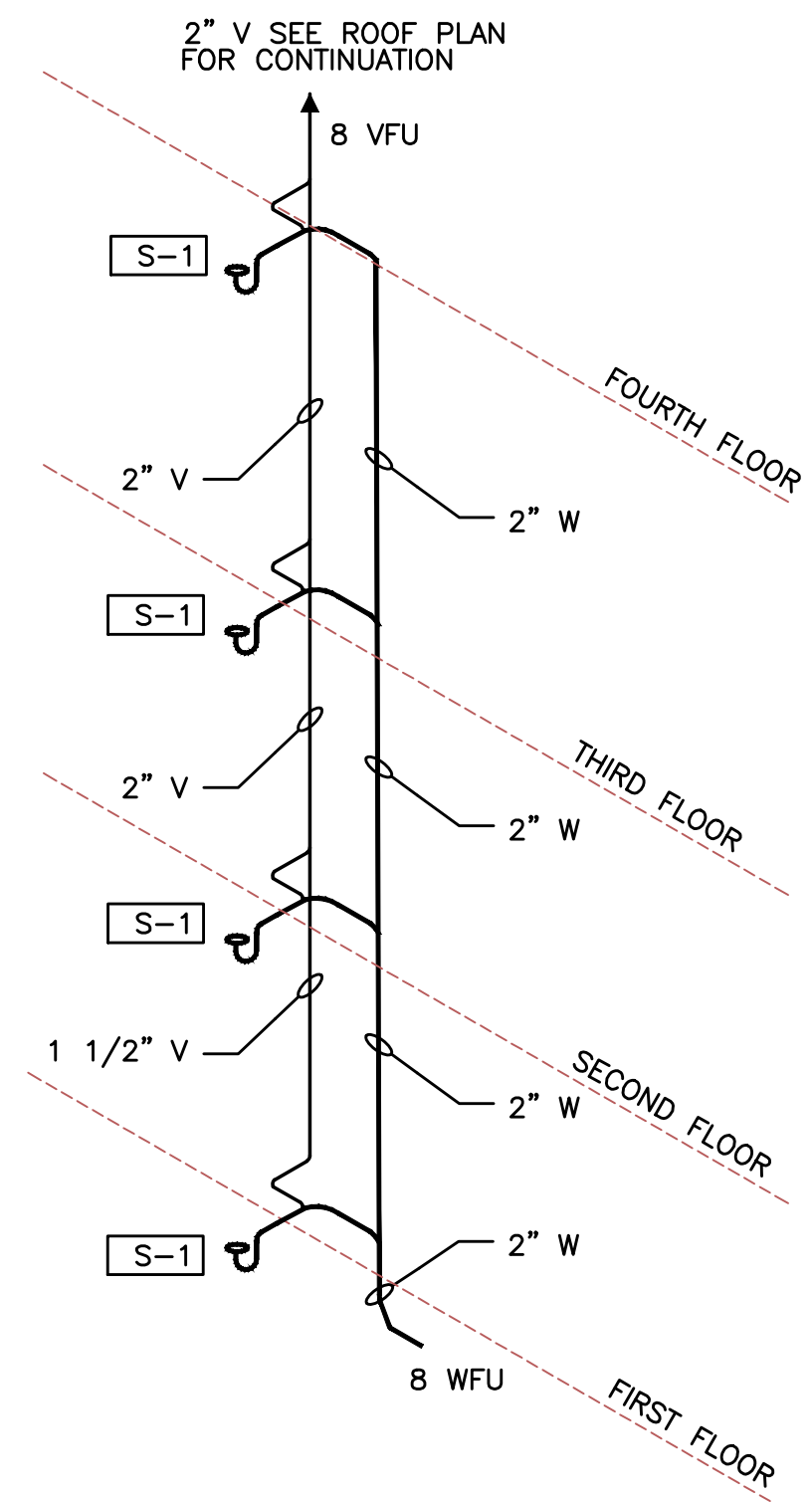


PROJECT NO. 16-0602	ISSUE DATE 06.23.2017
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SHEET
WASTE/VENT
RISERS
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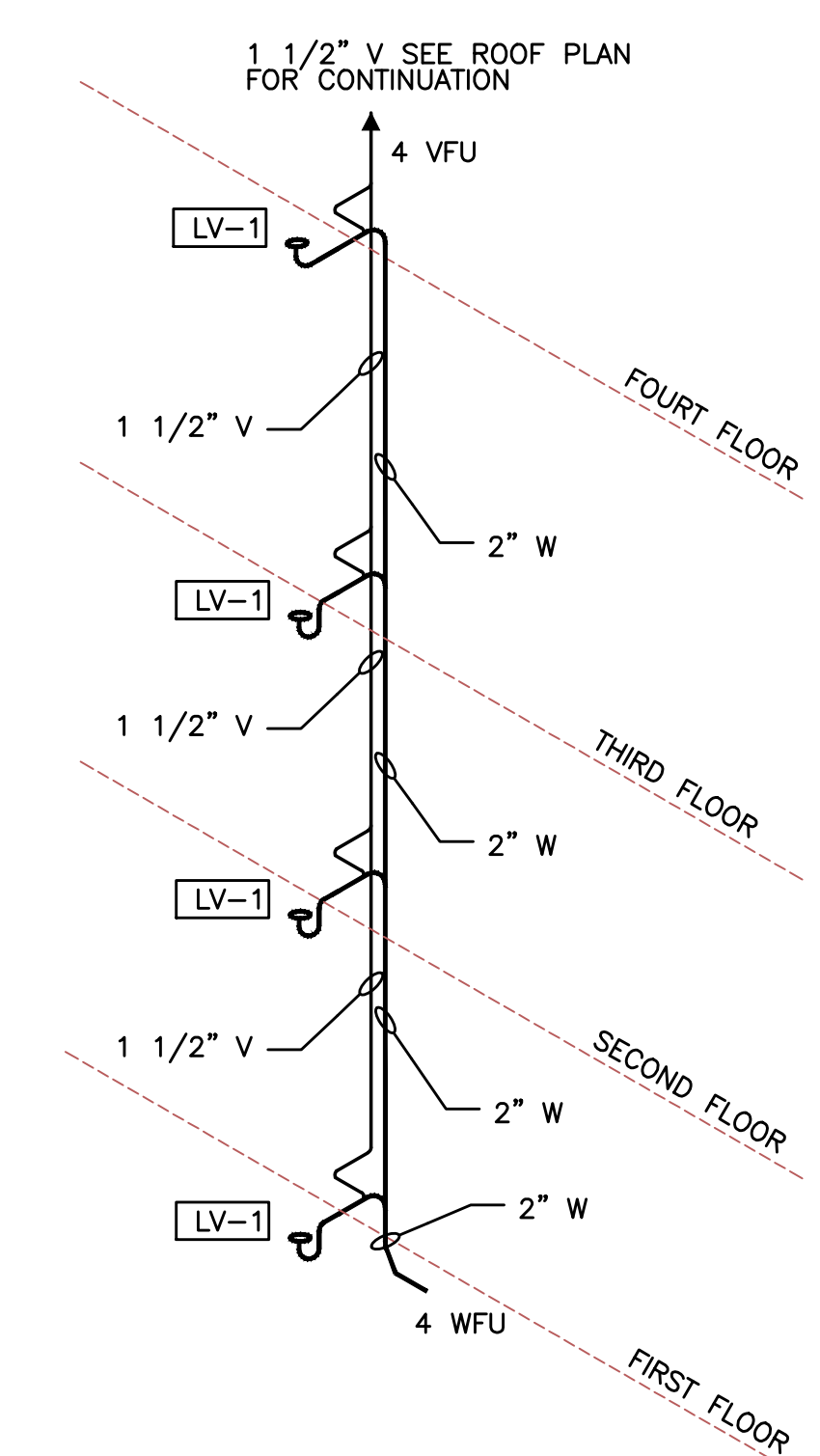
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Consulting Engineers
2007 S.E. Ash St.
Portland, OR 97214
PHN: (503) 234-0548
FAX: (503) 234-0677
INC. WWW.MFIA-ENG.COM
CONTACT: Takako Baker

PRELIMINARY
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CONSTRUCTION

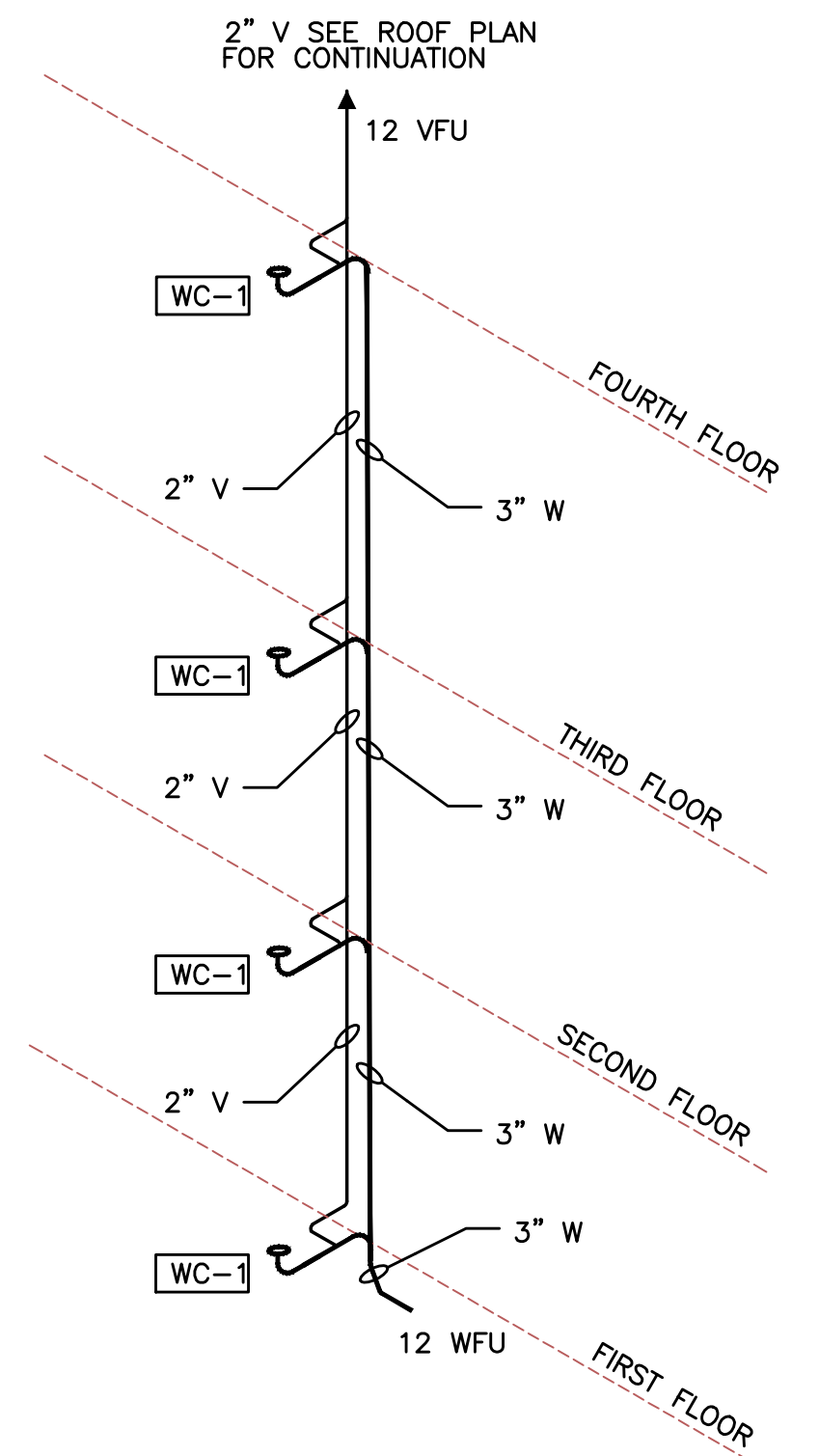


1 RISER "9" TYPICAL
P5.1 NOT TO SCALE

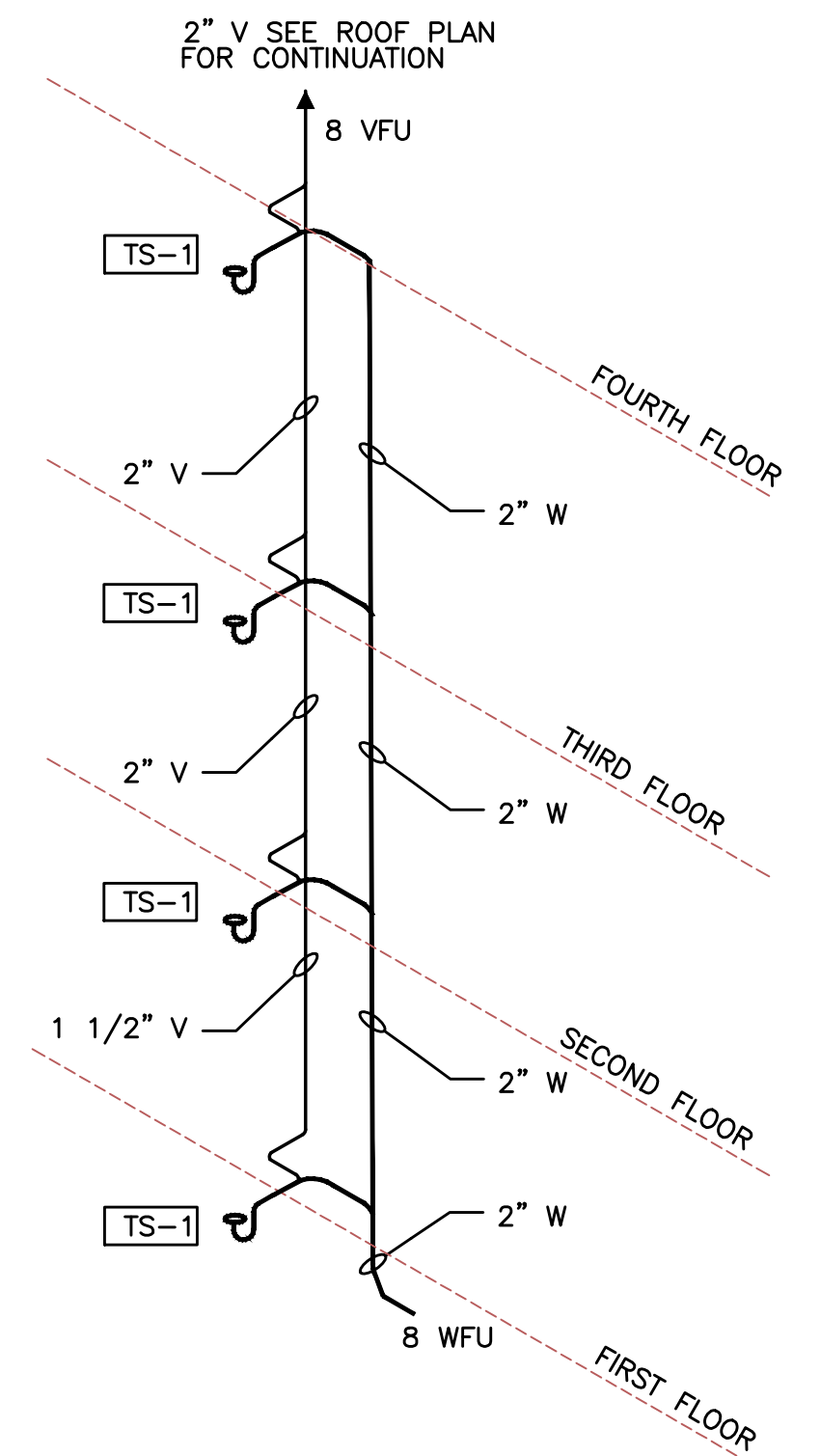
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2 RISER "10" TYPICAL
P5.1 NOT TO SCALE

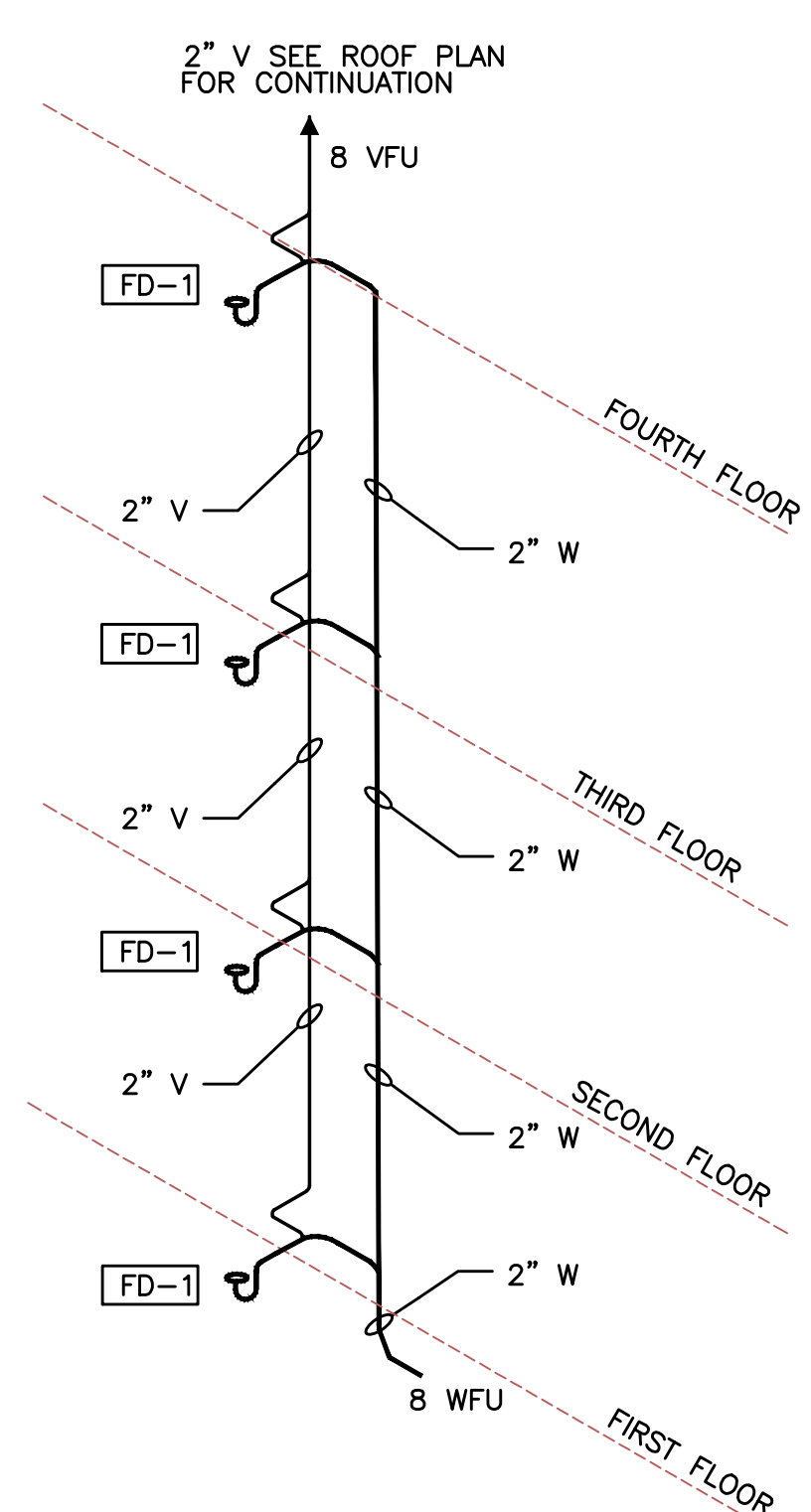


3 RISER "11" TYPICAL
P5.1 NOT TO SCALE

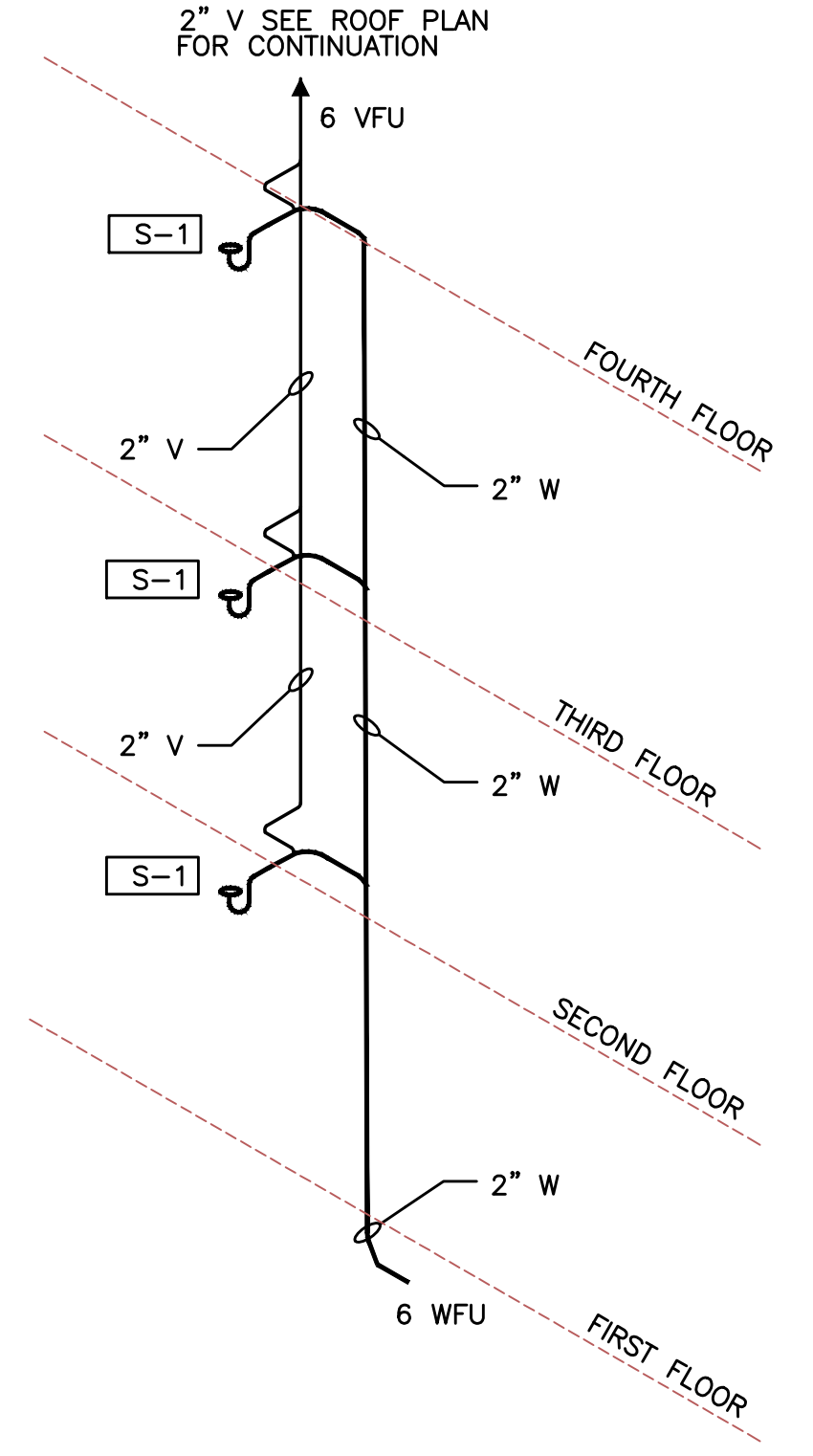


4 RISER "12" TYPICAL
P5.1 NOT TO SCALE

NOTE: DRAINAGE CONNECTIONS SHALL NOT BE MADE INTO A DRAINAGE PIPING SYSTEM WITHIN 8 FT OF ANY VERTICAL TO HORIZONTAL CHANGE OF DIRECTION OF A STACK CONTAINING A SUDS- PRODUCING FIXTURE. EXCEPTION: STACKS RECEIVING THE DISCHARGE FROM LESS THEN 3 STORIES OF PLUMBING FIXTURES.

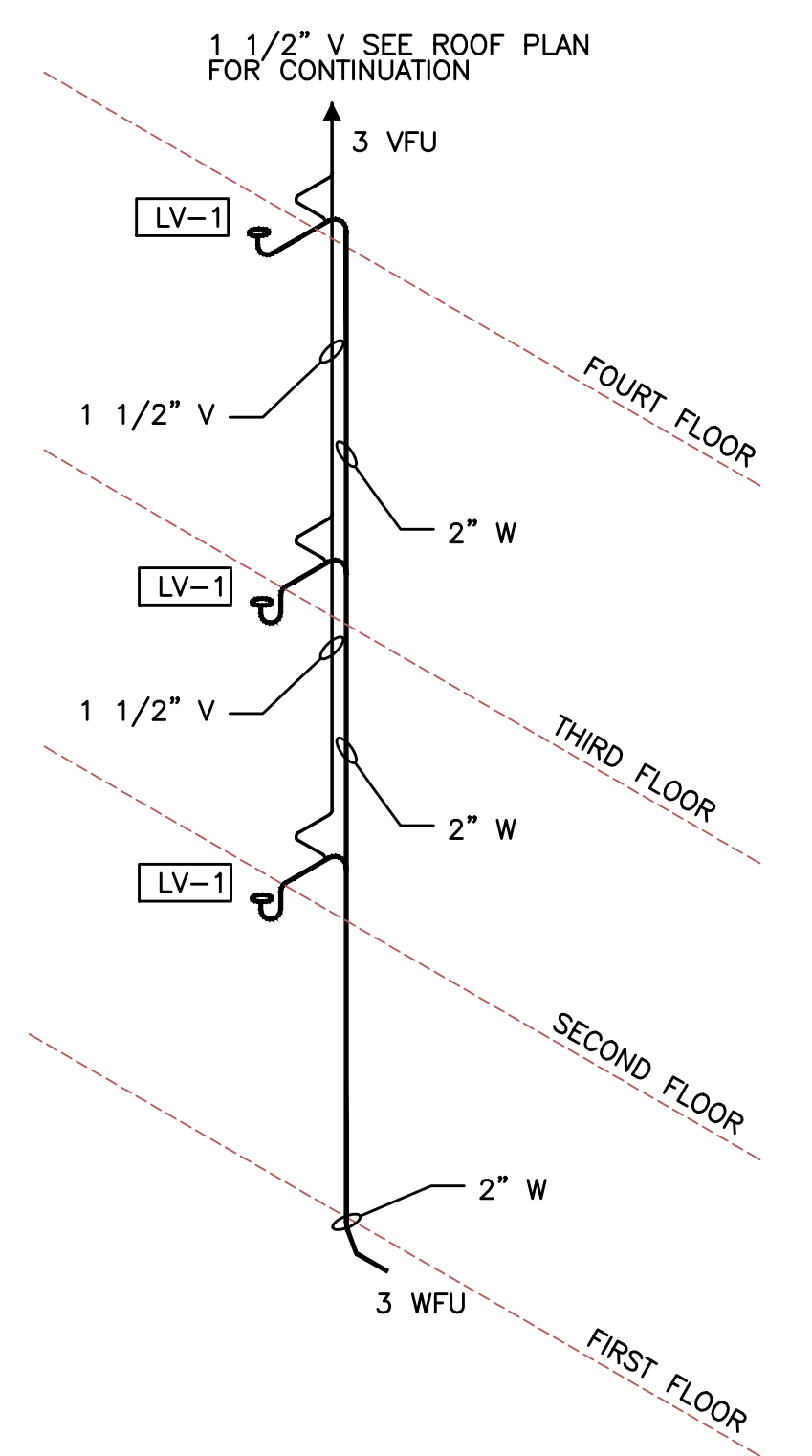


5 RISER "13" TYPICAL
P5.1 NOT TO SCALE

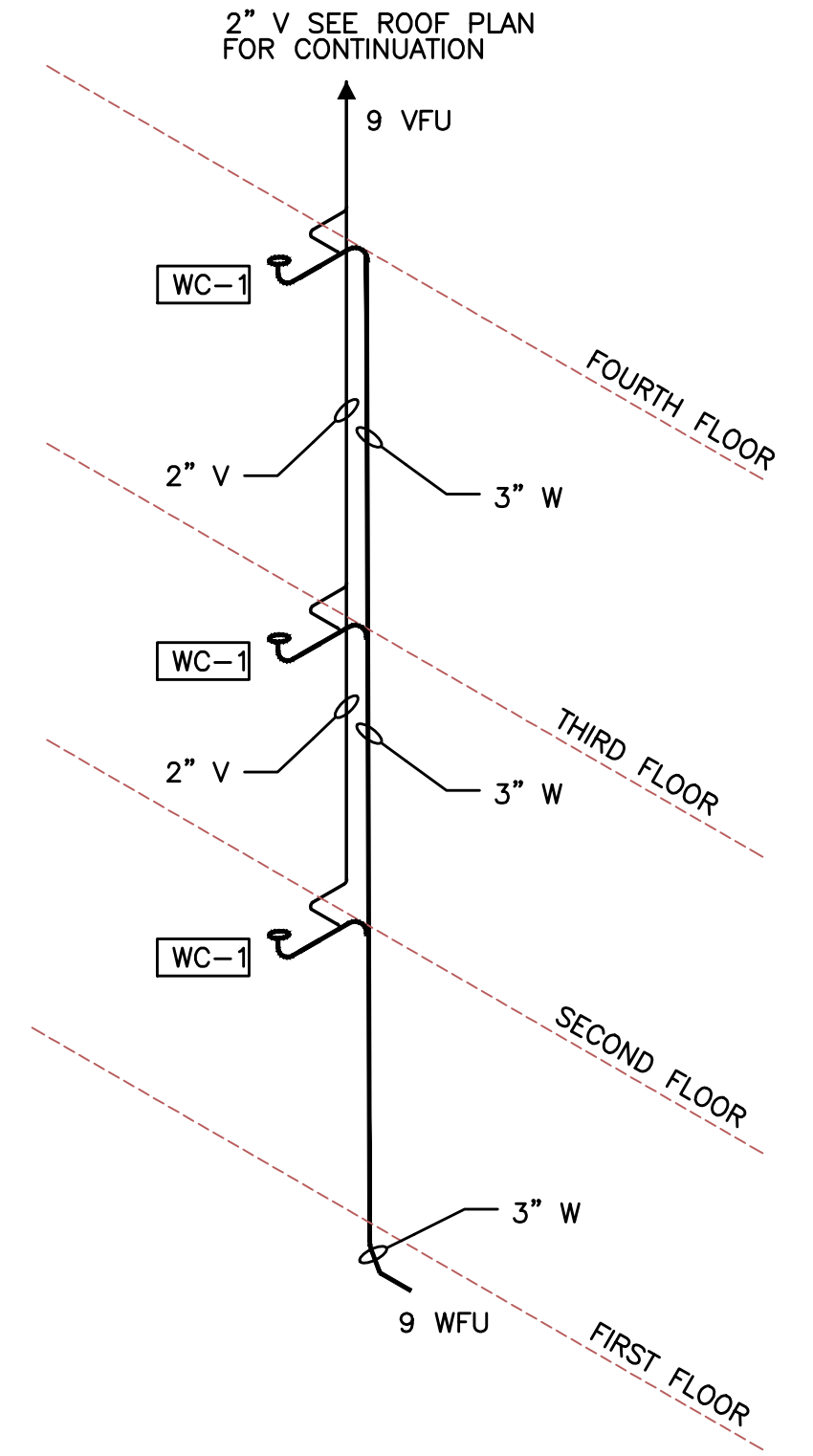


6 RISER "14" TYPICAL
P5.1 NOT TO SCALE

NOTE: DRAINAGE CONNECTIONS SHALL NOT BE MADE INTO A DRAINAGE PIPING SYSTEM WITHIN 8 FT OF ANY VERTICAL TO HORIZONTAL CHANGE OF DIRECTION OF A STACK CONTAINING A SUDS- PRODUCING FIXTURE. EXCEPTION: STACKS RECEIVING THE DISCHARGE FROM LESS THEN 3 STORIES OF PLUMBING FIXTURES.



7 RISER "15" TYPICAL
P5.1 NOT TO SCALE



8 RISER "16" TYPICAL
P5.1 NOT TO SCALE

KING+PARKS MULTI-FAMILY RESIDENCES

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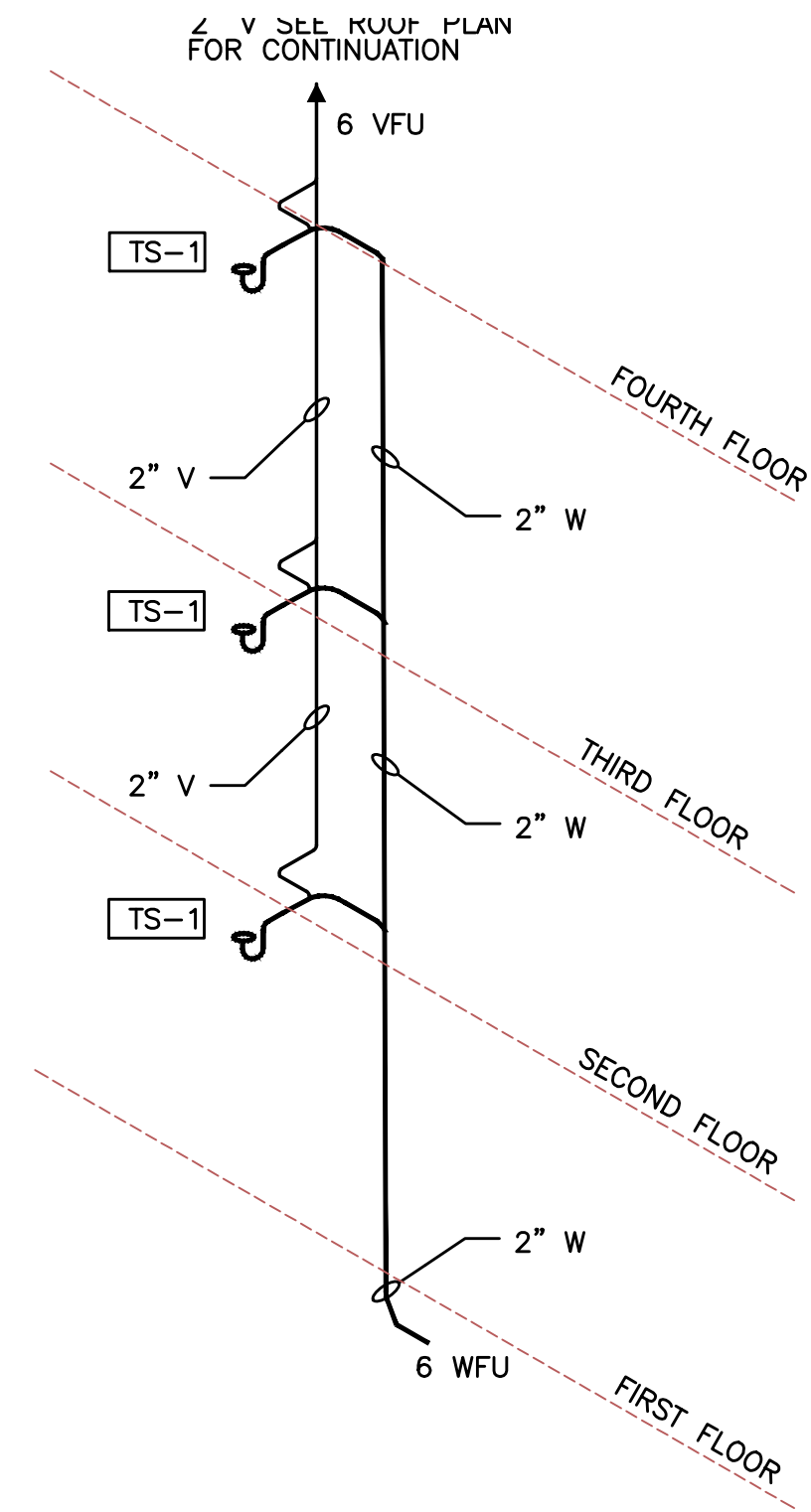
PROJECT NO.	ISSUE DATE
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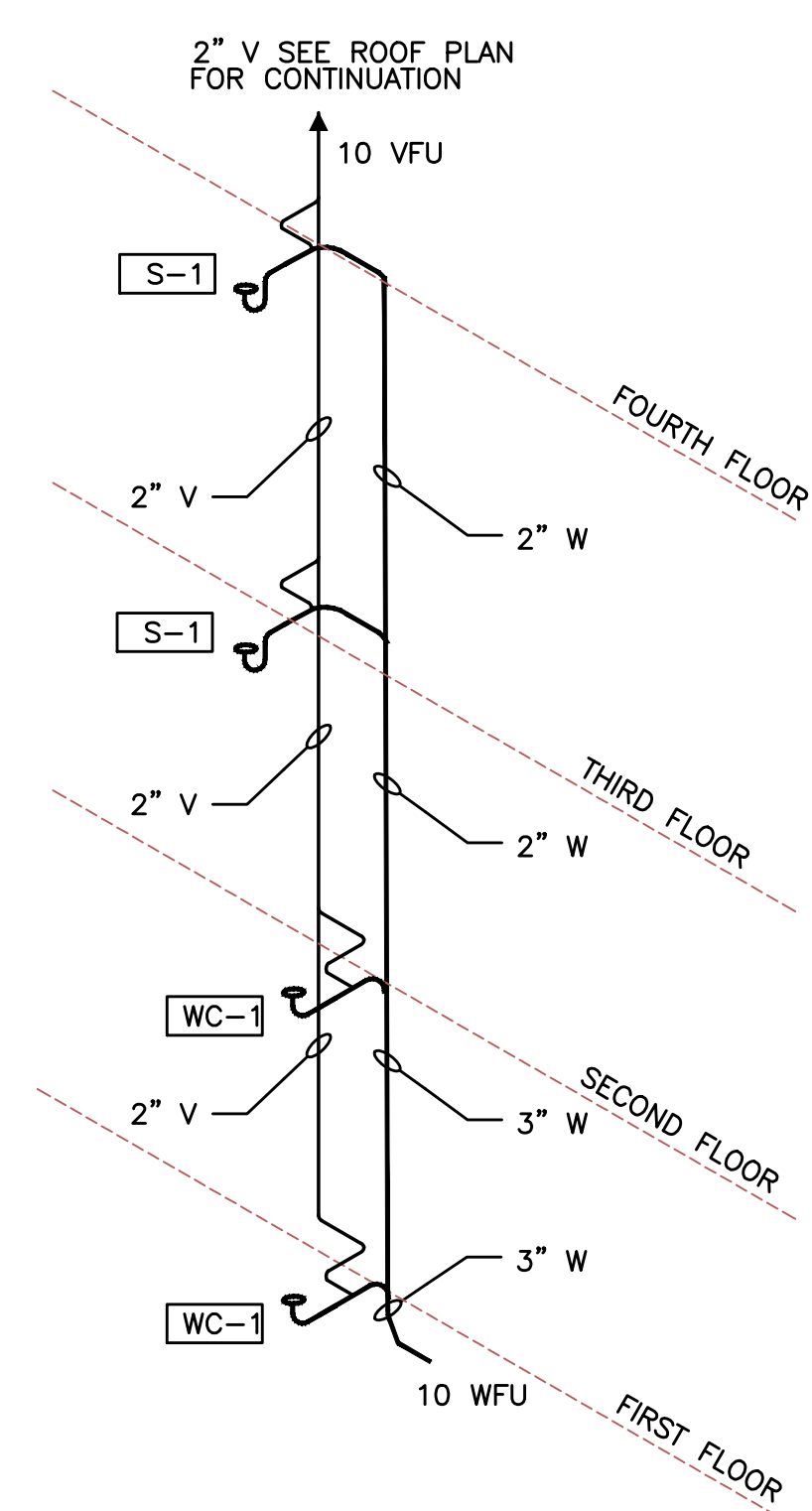
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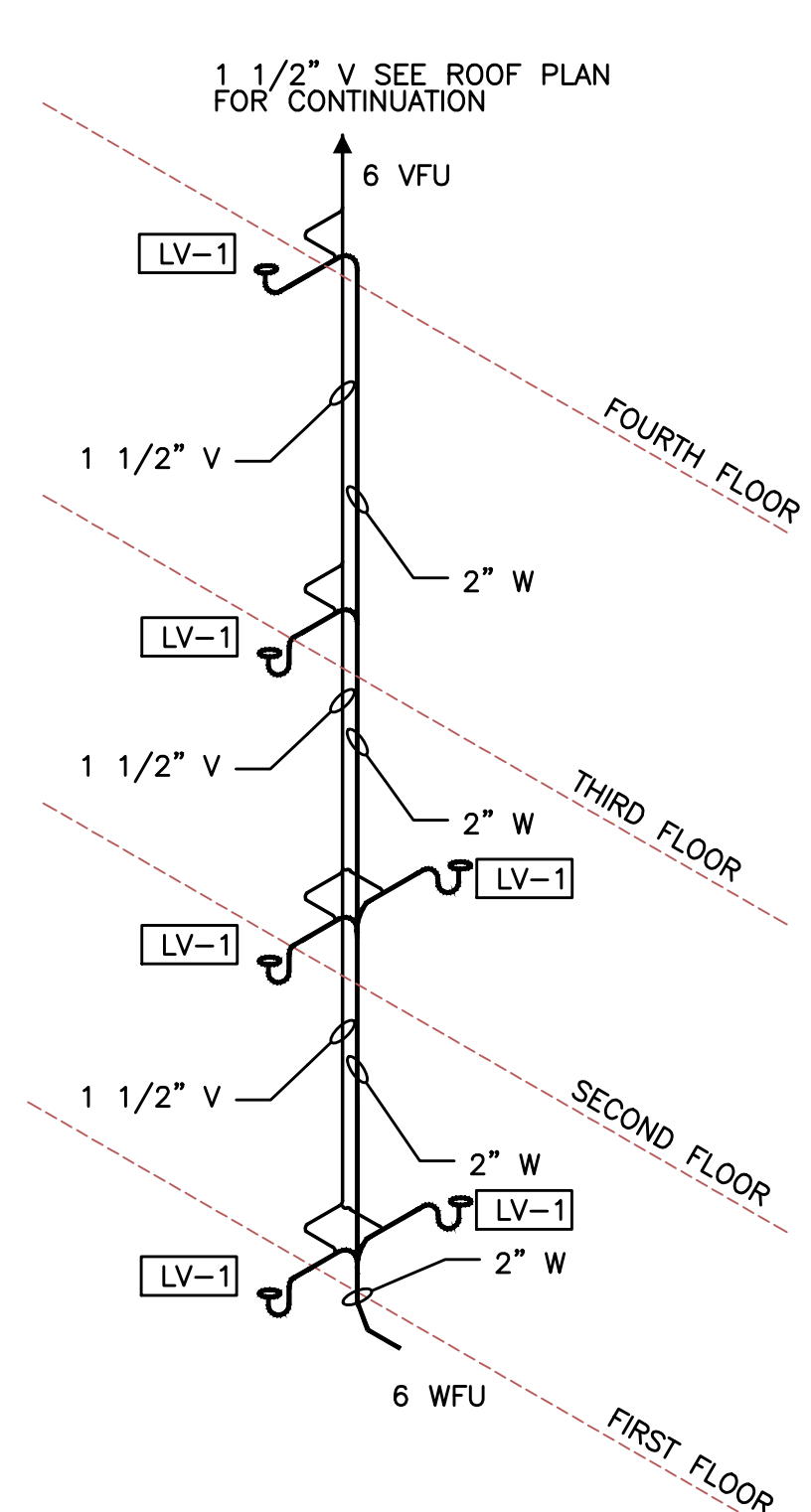
1 RISER "17" TYPICAL
P5.2 NOT TO SCALE

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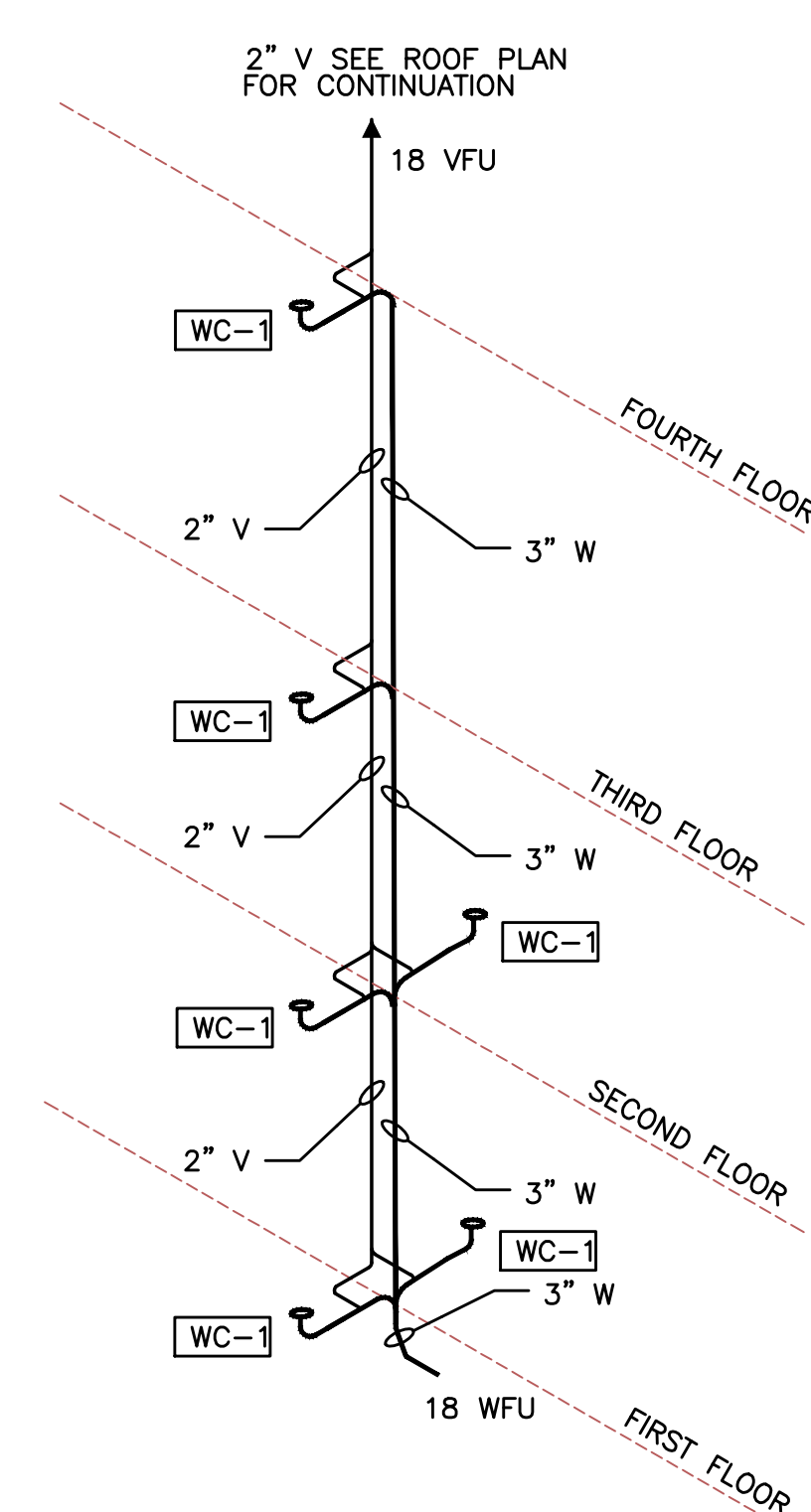


2 RISER "18" TYPICAL
P5.2 NOT TO SCALE

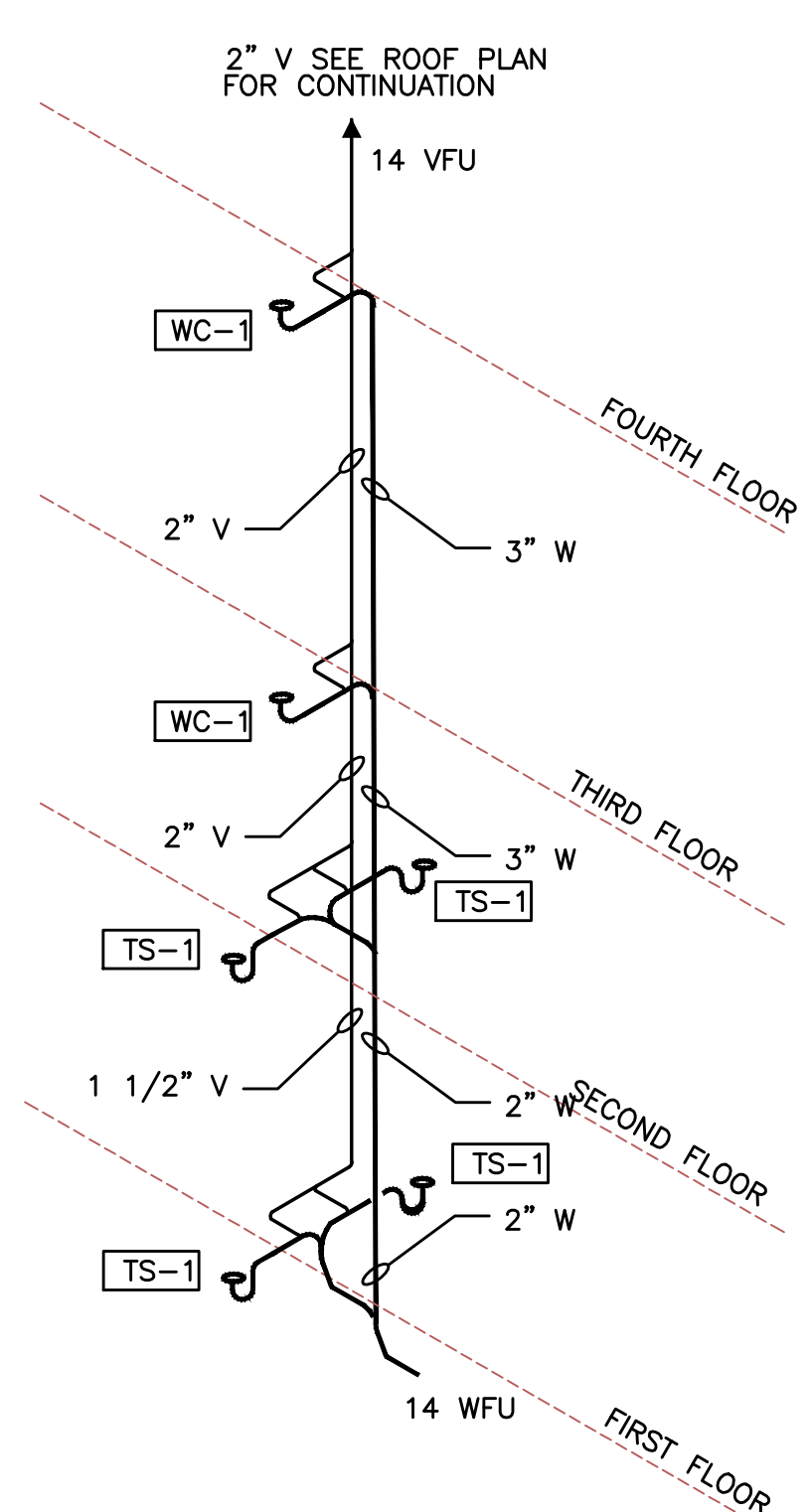
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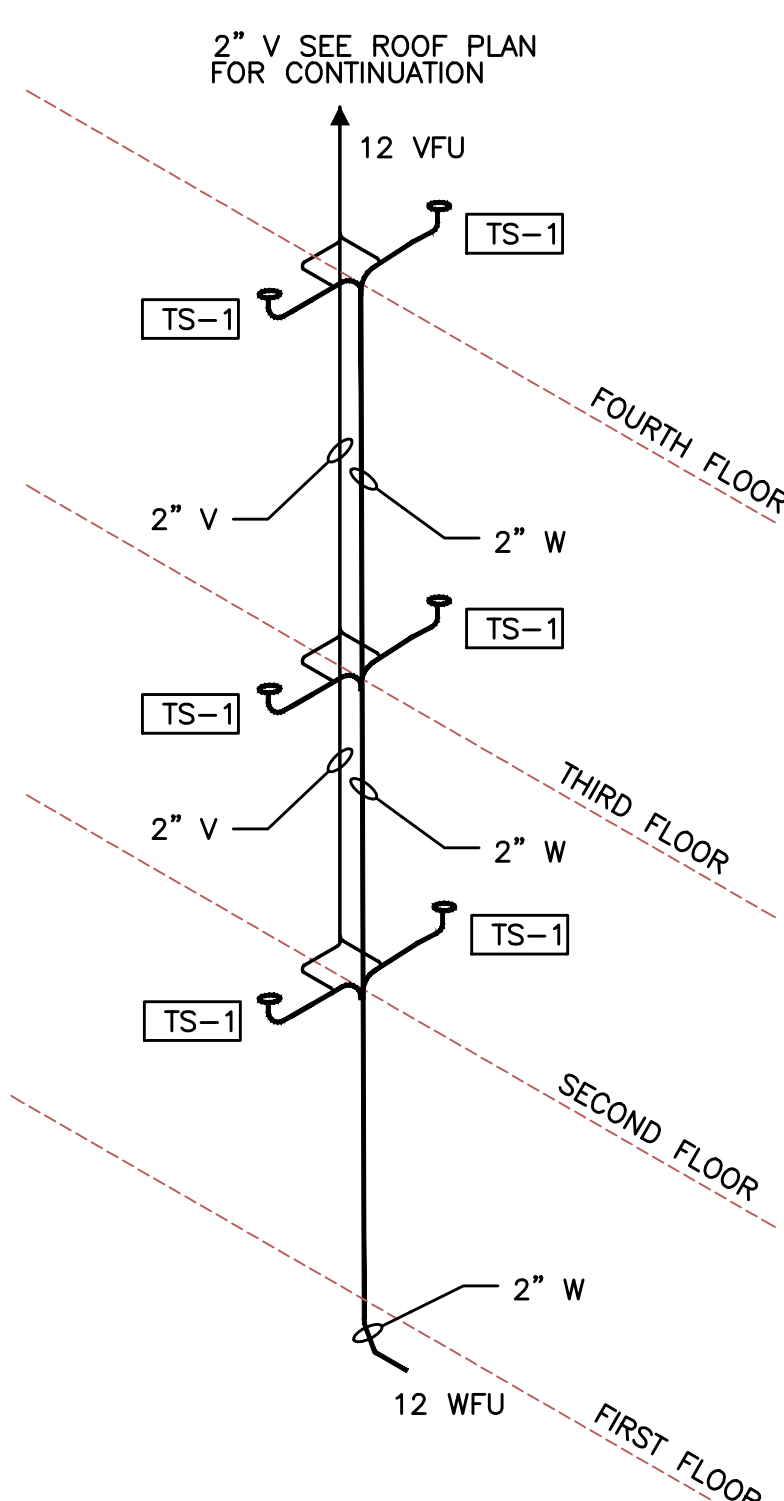
3 RISER "19" TYPICAL
P5.2 NOT TO SCALE



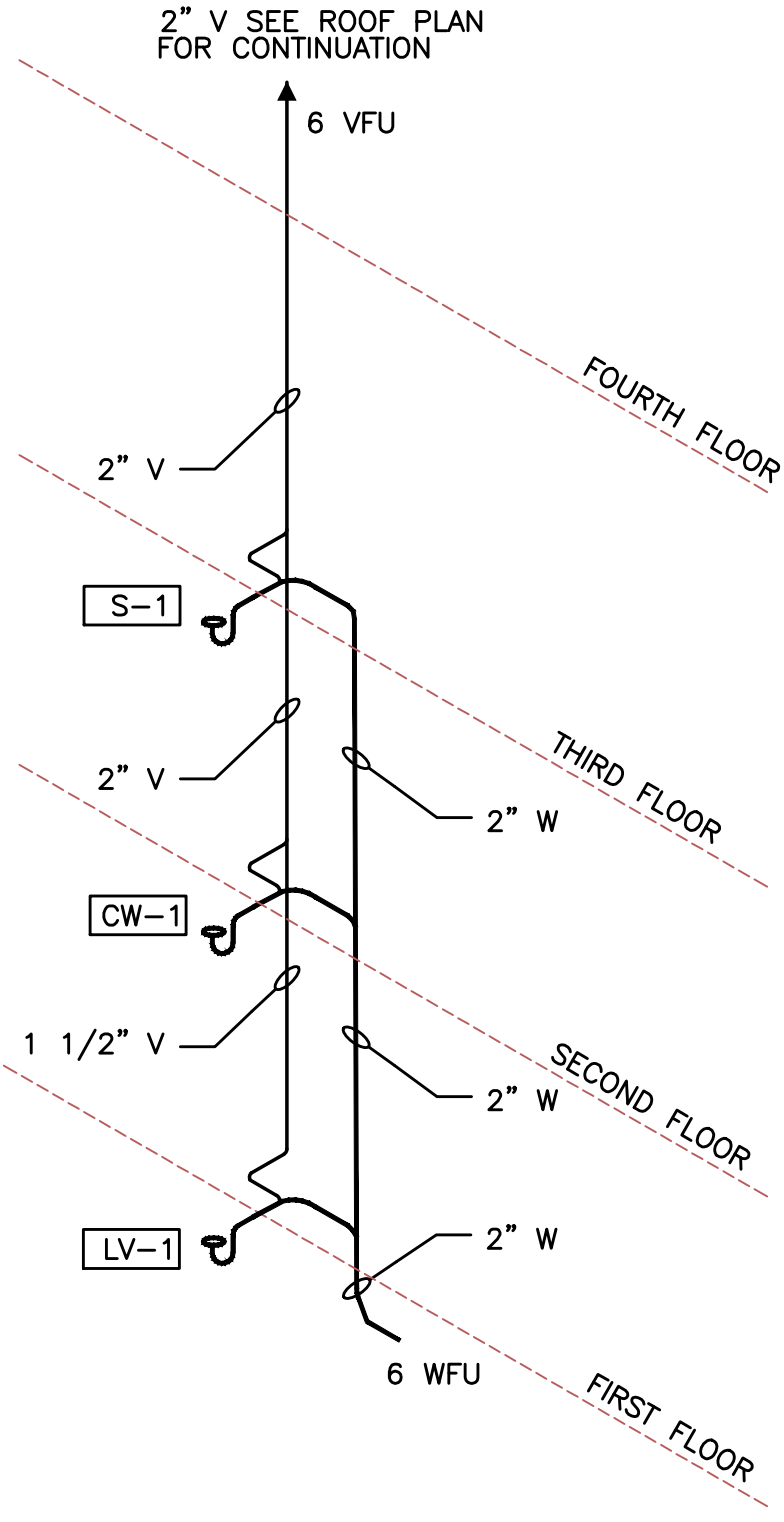
4 RISER "20" TYPICAL
P5.2 NOT TO SCALE



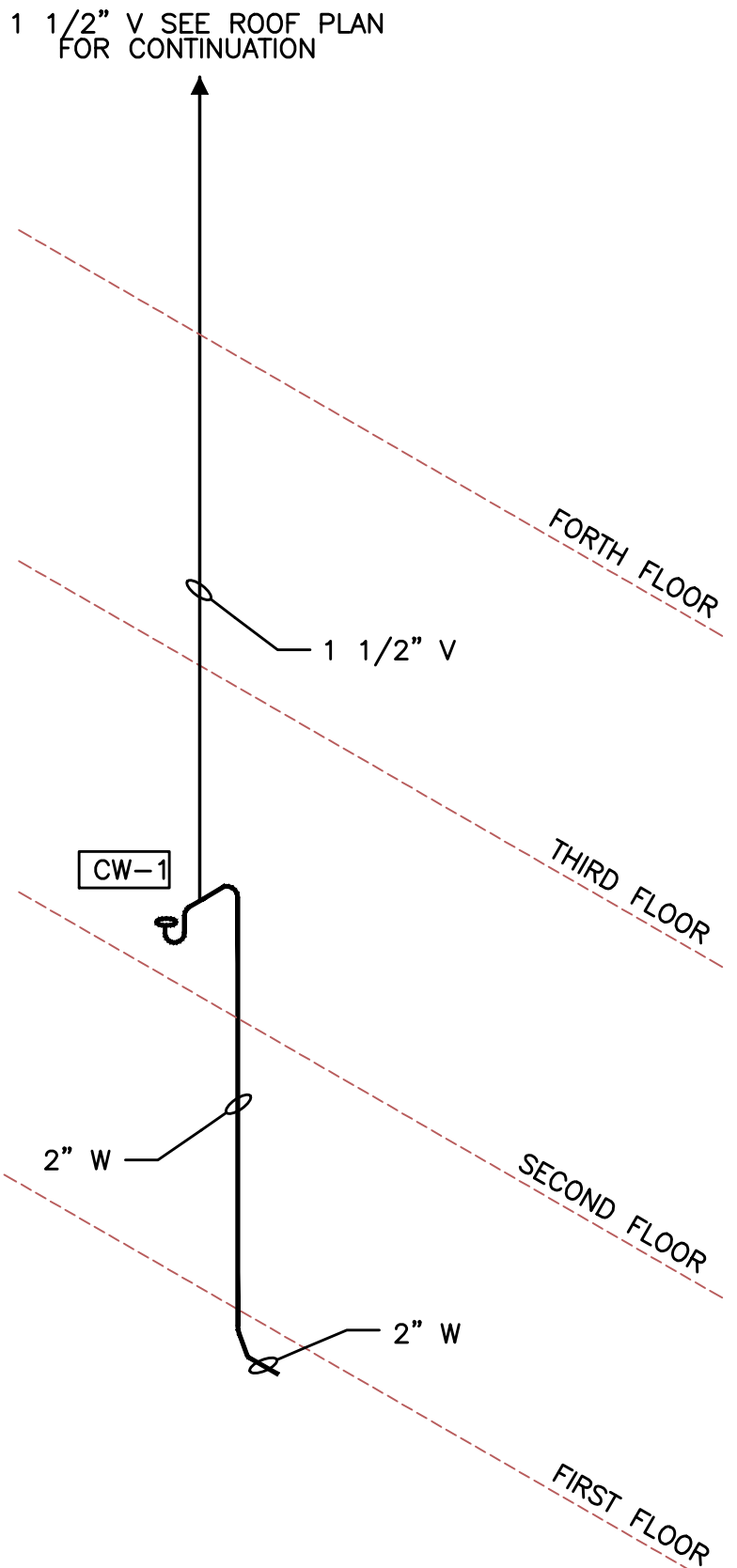
5 RISER "21" TYPICAL
P5.2 NOT TO SCALE



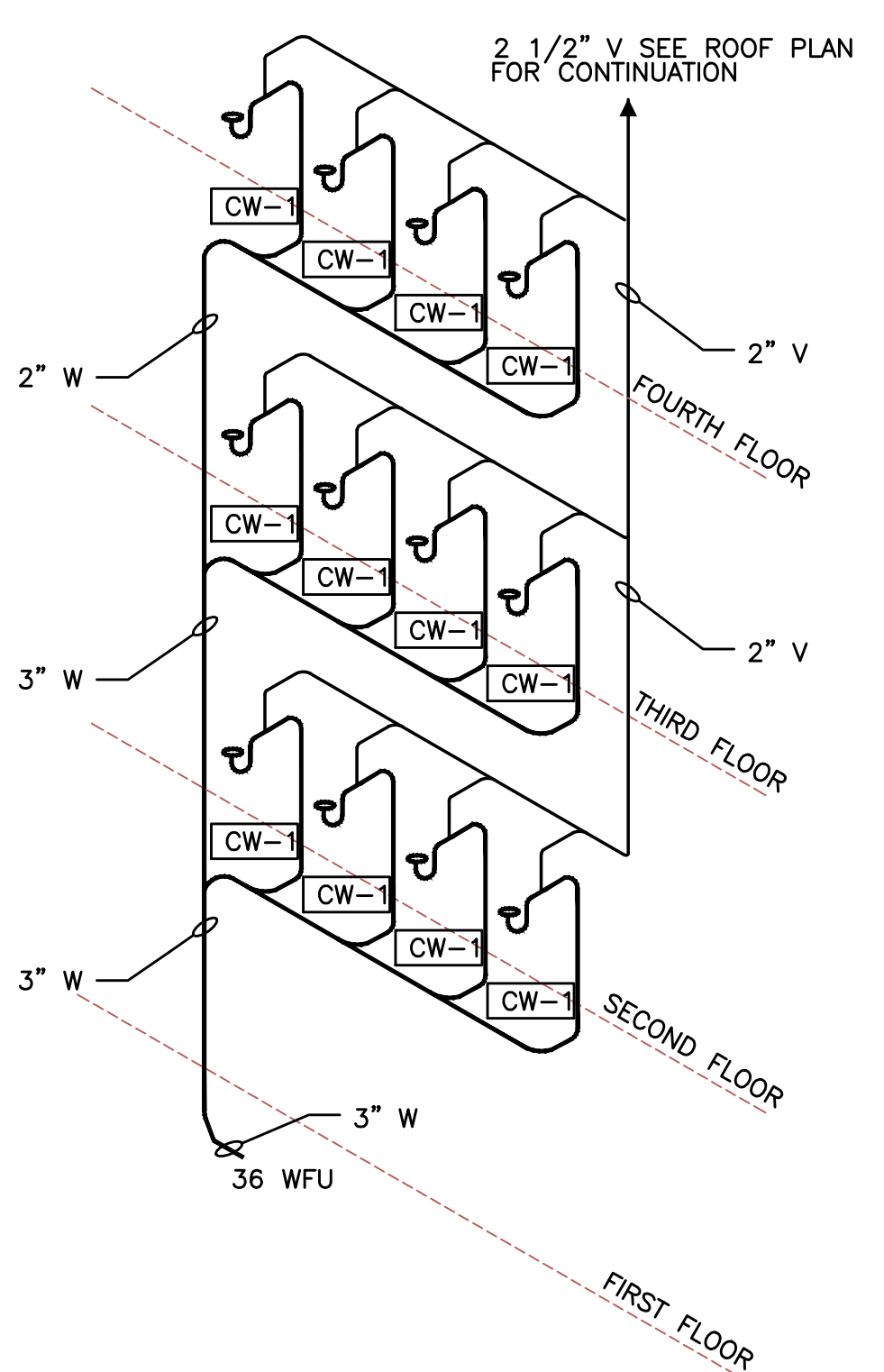
6 RISER "22" TYPICAL
P5.2 NOT TO SCALE



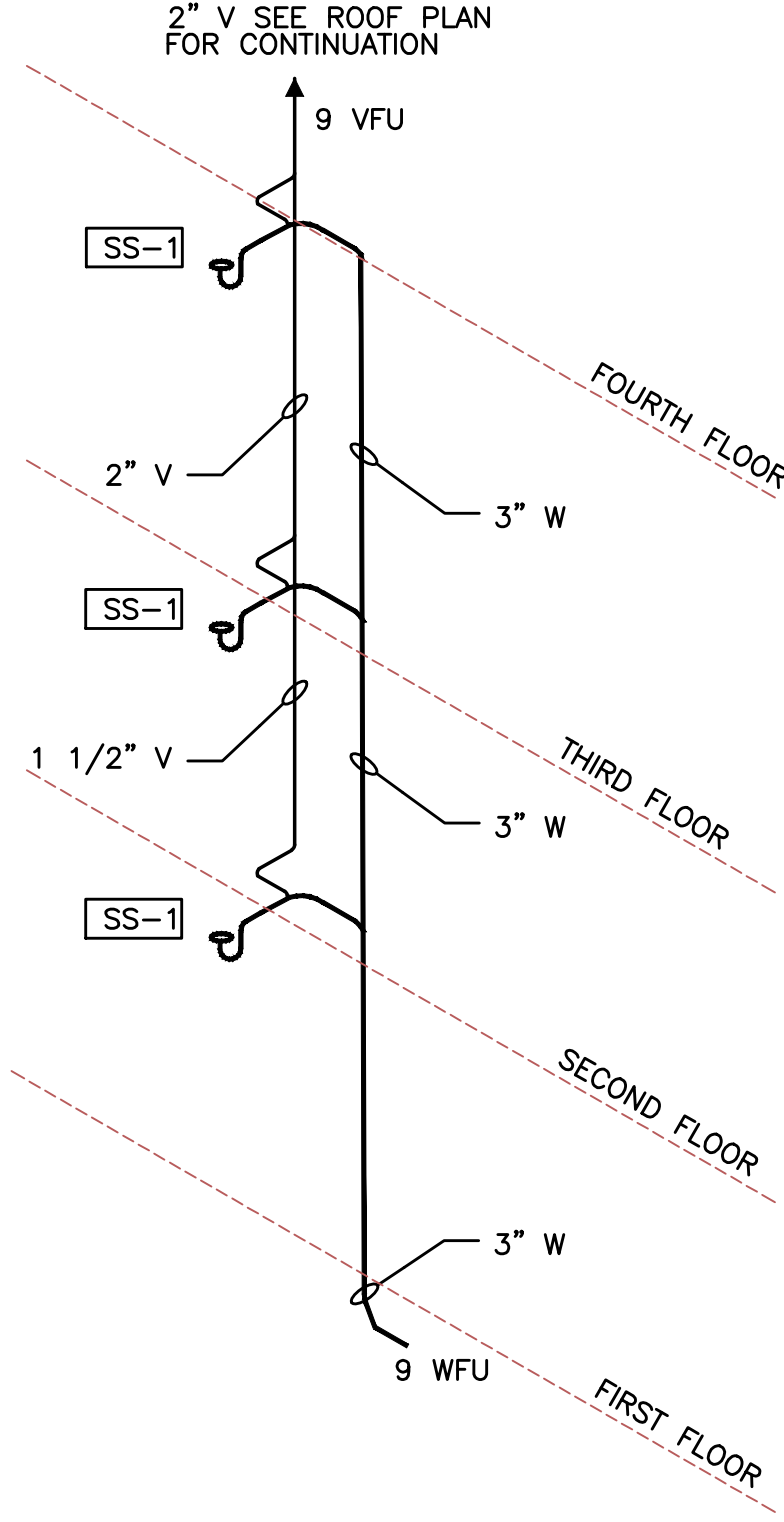
7 RISER "23" TYPICAL
P5.2 NOT TO SCALE



8 RISER "24" TYPICAL
P5.2 NOT TO SCALE



9 RISER "25" TYPICAL
P5.2 NOT TO SCALE



10 RISER "26" TYPICAL
P5.2 NOT TO SCALE

KING+PARKS MULTI-FAMILY RESIDENCES

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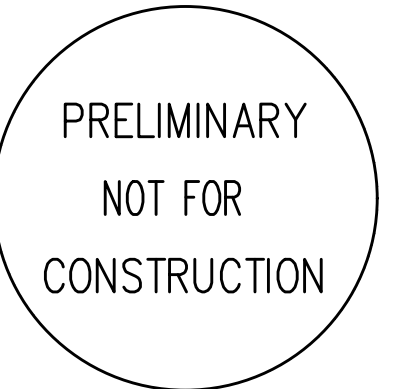


PROJECT NO.	ISSUE DATE
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KING+PARKS MULTI-FAMILY RESIDENCES

PROJECT SITE: NE Martin Luther King Jr. Boulevard & N Rosa Parks Way
OWNER: Portland Community Reinvestment Initiatives Inc. (PCRI)
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PROJECT NO. 16-0602 ISSUE DATE 06.23.2017

REVISIONS

SHEET

LEGENDS AND SCHEDULES

P6.0

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PLUMBING LEGEND

AFF ABOVE FINISHED FLOOR	---	--- (CW) COLD WATER
ARCH ARCHITECTURAL	---	--- (HW) HOT WATER
B.G.	..... BELOW GRADE	---	--- (HWR) HOT WATER RECIRC
BTU	..... BRITISH THERMAL UNIT	---	--- (W) BELOW GRADE WASTE
CAP.	..... CAPACITY	---	--- (W) ABOVE GRADE WASTE
C.I.	..... CAST IRON	---	--- (V) VENT
COMP.	..... COMPARTMENT	RD	--- (RD) RAIN DRAIN
CONT.	..... CONTINUATION	OD	--- (OD) OVERFLOW RAIN DRAIN
CPVC	..... CHLORINATED POLYVINYL CHLORIDE (PIPE)	G	--- (G) NATURAL GAS
CU.	..... CUBIC	F	--- (F) FIRE WATER
DIA.	..... DIAMETER		
ELEV.	..... ELEVATION		
FD	..... FLOOR DRAIN		
FDC	..... FIRE DEPARTMENT CONNECTION		
F.F.	..... FINISH FLOOR		
FLG.	..... FLANGE		
FT	..... FOOT / FEET		
G	..... GAS		
G.A.	..... GAUGE		
GALV.	..... GALVANIZED		
GPM	..... GALLONS PER MINUTE		
G.V.	..... GATE VALVE		
HP	..... HORSEPOWER		
KW	..... KILOWATT		
LAV	..... LAVATORY		
LBS	..... POUNDS		
MAX.	..... MAXIMUM		
MBH	..... THOUSANDS OF BTUs PER HOUR		
MIN.	..... MINIMUM		
M.J.	..... MECHANICAL JOINT		
N.I.M.	..... NOT IN MECHANICAL		
PROT.	..... PROTECTION		
PRV	..... PRESSURE REDUCING VALVE		
PSI, PSIG	..... POUNDS PER SQUARE INCH		
P/T	..... PRESSURE / TEMPERATURE		
REQ'D	..... REQUIRED		
TYP.	..... TYPICAL		
VTR	..... VENT THROUGH ROOF		
WC	..... WATER CLOSET		

	..... EQUIPMENT MARK NUMBER
	..... FIXTURE MARK
	..... NOTE
	..... RISER DIAGRAM

	..... PRESSURE/TEMP RELIEF VALVE
	..... BUTTERFLY VALVE
	..... GAS PRESSURE REGULATING VALVE
	..... PIPE TURNED UP, PIPE TURNED DOWN
	..... GATE VALVE
	..... BALL VALVE
	..... BALANCING VALVE
	..... CHECK VALVE
	..... UNION
	..... DOUBLE CHECK ASSEMBLY
	..... CAP
	..... TEE
	..... ELBOW
	..... CLEANOUT

GAS WATER HEATERS

MARK NUMBER	
FUEL	GAS
CAPACITY (GAL)	100
INPUT RATE (MBH)	199
RECOVERY CAP. @ 100 TR (GPH)	239
EFFICIENCY (%)	98.5
COMBUSTION AIR/GAS VENT DIA.	4" CPVC
DESIGN WEIGHT (LBS)	1735
BASIS OF DESIGN (BRADFORD WHITE)	EF-100T-199E-3N(A)

DOMESTIC RECIRC PUMP

MARK NUMBER	
SERVICE	WH/1-5
TYPE	RECIRC.
FLOW RATE (GPM)	25
HEAD (FT)	20
MOTOR HP	1/6
RPM	1750
BASIS OF DESIGN: GRUNDFOS	UP43-75BF

MIXING VALVE

MARK NUMBER	
WATER HEATER	1-5
MAX FLOW RATE GPM *	138
MIN FLOW RATE GPM	1.0
CW (SIZE IN.)	2"
HW (SIZE IN.)	2"
TWW (SIZE IN.)	2"
BASIS OF DESIGN	LEONARD TM-186-20050-PRV

* - AT 15 PSI DROP MAX

SUMP PUMP

MARK NUMBER	
SYSTEM	ELEVATOR
TYPE	SUMP
FLOW RATE (GPM)	100
HEAD (FT H2O)	20
POWER (HP)	1HP/208/1

* - PROVIDE W/ PLUG IN CONNECTION FOR POWER

PLUMBING CONNECTION SCHEDULE

MARK	FIXTURE	W	V	CW	HW	REMARKS
TS-1	TUB SHOWER	1-1/2"	1-1/2"	1/2"	1/2"	BACKED/REINFORCED FOR FUTURE GRAB BARS
TS-2	TUB SHOWER, ADA	1-1/2"	1-1/2"	1/2"	1/2"	ADA GRAB BARS
CW-1	CLOTHES WASHER FITTING	2"	2"	1/2"	1/2"	
DW-1	DISH WASHER	-	-	1/2"	1/2"	①
FD-1	FLOOR DRAIN	3"	VL			JR SMITH 2005 SERIES, PRIME ②
FD-2	FLOOR DRAIN	3"	VL			JR SMITH 2119 SERIES, PRIME ②③
FS-1	FLOOR SINK	3"	1 1/2"			J.R. SMITH 3002 WITH HALF GRATE, PRIME
HB-1	HOSE BIBB			3/4"		VACUUM/FREEZE PROTECTED
HB-2	HOSE BIBB (TRASH)			1/2"	1/2"	HOT & COLD, VACUUM PROTECTED
LV-1	LAVATORY	1-1/2"	1-1/2"	1/2"	1/2"	UNDER COUNTER MOUNT
LV-2	LAVATORY, ADA	1-1/2"	1-1/2"	1/2"	1/2"	PUBLIC COUNTER MOUNT
LV-3	LAVATORY	1-1/2"	1-1/2"	1/2"	1/2"	PUBLIC COUNTER MOUNT
RD-1	ROOF DRAIN	-	-	-	-	SIZED ON PLANS
OD-2	OVERFLOW ROOF DRAIN	-	-	-	-	SIZED ON PLANS
S-1	KITCHEN SINK	2"	1-1/2"	1/2"	1/2"	DOUBLE COMPARTMENT
S-2	KITCHEN SINK, ADA	2"	1-1/2"	1/2"	1/2"	DOUBLE COMPARTMENT
SP-1	SUMP PUMP	2"				100 GPM
SS-1	SERVICE SINK	3"	1-1/2"	1/2"	1/2"	FLOOR MOUNT, VACUUM PROTECTED
WC-1	WATER CLOSET	3"	2"	1/2"		FLOOR MOUNT, TANK TYPE, ELONGATED
WC-2	WATER CLOSET, ADA	3"	2"	1/2"		FLOOR MOUNT, TANK TYPE, ELONGATED ADA
WC-3	WATER CLOSET, ADA	3"	2"	1/2"		FLOOR MOUNT, TANK TYPE, ELONGATED, ADA
CO	CLEANOUT					JR SMITH ②

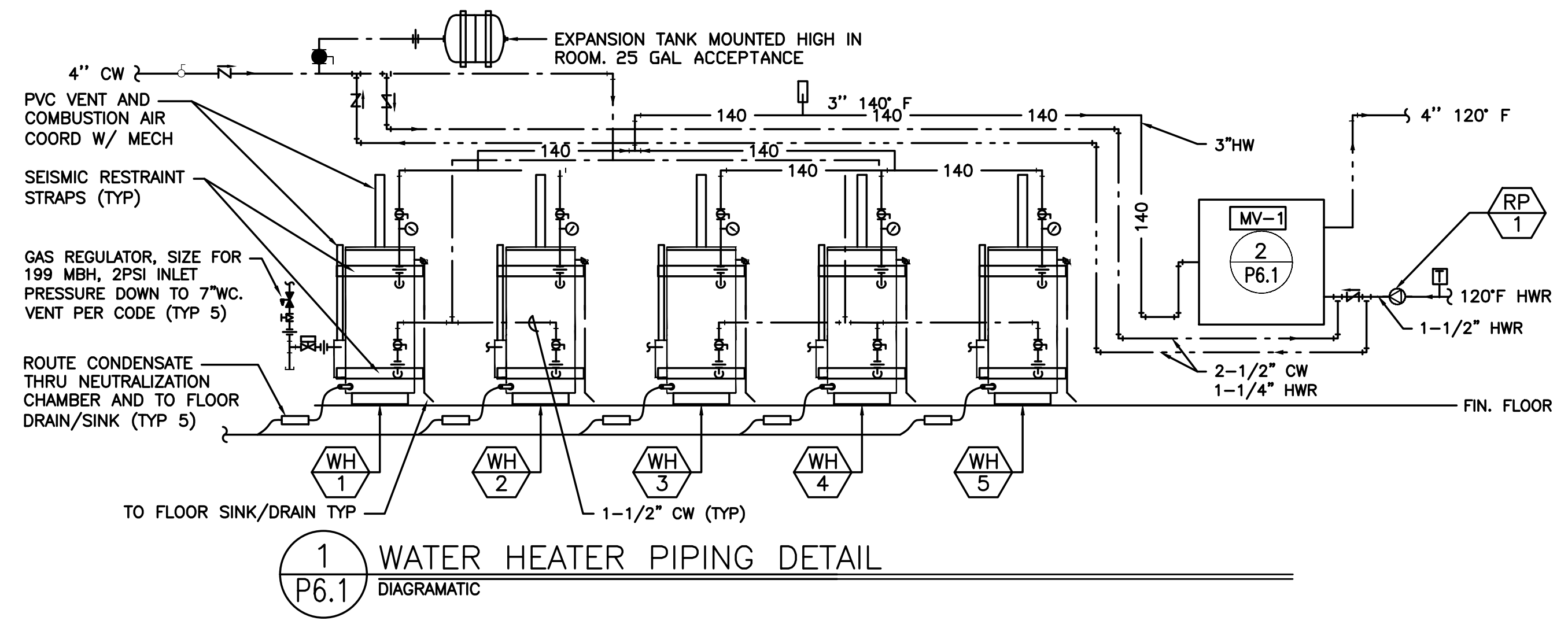
V.L. - VENTED LINE

- ① PROVIDE ALL PLUMBING CONNECTIONS REQUIRED FOR A COMPLETE INSTALLATION. COORDINATE ELECTRICAL CONNECTION(S) WITH ELECTRICAL CONTRACTOR.
- ② ENSURE THAT FLOOR DRAINS AND FLOOR CLEANOUTS ARE INSTALLED FLUSH TO FINISHED FLOOR.
- ③ PROVIDE W/SEDIMENT BUCKET AND TRAFFIC RATED GRATE.

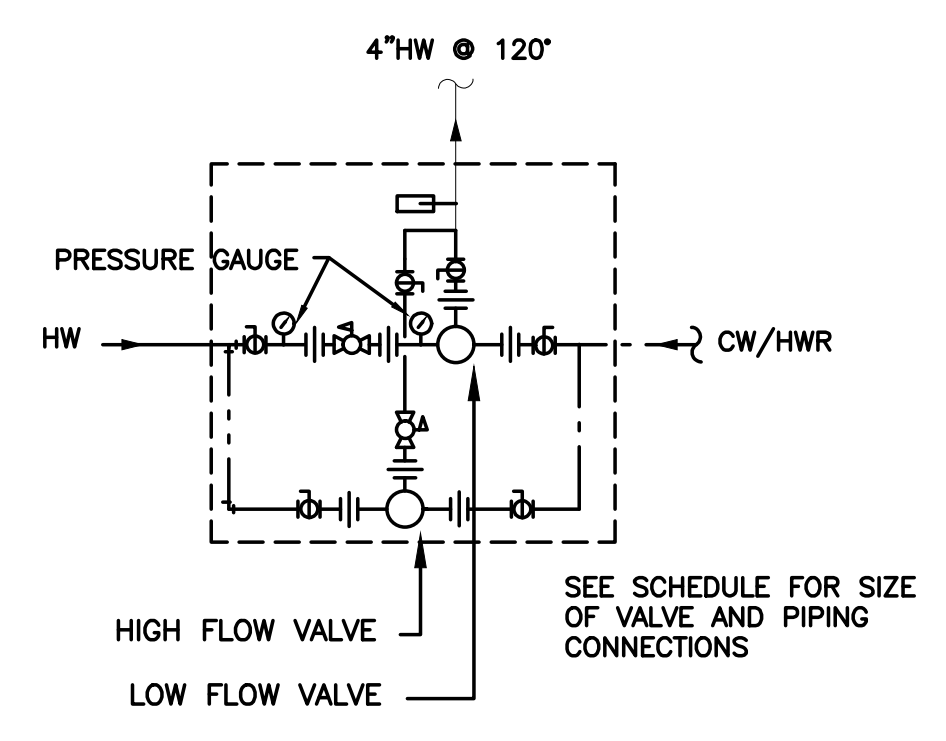
FIXTURE TYPE	DOMESTIC WATER SERVICE					SANITARY WASTE SERVICE	
	NUMBER OF FIXTURES	WATER FIXTURE UNITS	TOTAL WSFU	TOTAL CW FIXTURE UNITS	TOTAL HW FIXTURE UNITS	DRAINAGE FIXTURE UNITS	TOTAL DFU
BATHUB or COMBO BATH/SHOWER	1	4	4	3	3	2	2
CLOTHES WASHER	0	0	0	0	0	0	0
KITCHEN SINK (GRINDER & DISHWASHER)	1	3	3	2.25	2.25	2	2
LAVATORY (SINGLE)	1	1	1	0.75	0.75	1	1
WATER CLOSET (1.6 GPF TANK-PRIVATE)	1	2.5	2.5	0	0	3	3
TOTAL PER UNIT	4	10.5	10.5	8.5	6	8	8
20 TYPICAL UNITS	80	210	210	170	120	160	160
PLUMBING CALCULATIONS 2bd/1ba							
BATHUB or COMBO BATH/SHOWER	1	4	4	3	3	2	2
CLOTHES WASHER	0	0	0	0	0	0	0
KITCHEN SINK (GRINDER & DISHWASHER)	1	3	3	2.25	2.25	2	2
LAVATORY (SINGLE)	1	1	1	0.75	0.75	1	1
WATER CLOSET (1.6 GPF TANK-PRIVATE)	1	2.5	2.5	0	0	3	3
TOTAL PER UNIT	4	10.5	10.5	8.5	6	8	8
37 TYPICAL UNITS	148	388.5	388.5	314.5	222	296	296
PLUMBING CALCULATIONS 3bd/1.5ba							
BATHUB or COMBO BATH/SHOWER	1	4	4	3	3	2	2
CLOTHES WASHER	0	0	0	0	0	0	0
KITCHEN SINK (GRINDER & DISHWASHER)	1	3	3	2.25	2.25	2	2
LAVATORY (SINGLE)	2	2	2	1.5	1.5	1	2
WATER CLOSET (1.6 GPF TANK-PRIVATE)	2	2.5	5	0	0	3	6
TOTAL PER UNIT	6	10.5	14	11.75	6.75	8	12
1 TYPICAL UNIT	6	10.5	14	11.75	6.75	8	12
PLUMBING CALCULATIONS 2bd/1.5ba TH							
BATHUB or COMBO BATH/SHOWER	1	4	4	3	3	2	2
CLOTHES WASHER	1	4	4	3	3	3	3
KITCHEN SINK (GRINDER & DISHWASHER)	1	3	3	2.25	2.25	2	2
LAVATORY (SINGLE)	2	2	2	1.5	1.5	1	2
WATER CLOSET (1.6 GPF TANK-PRIVATE)	2	2.5	5	0	0	3	6
TOTAL PER UNIT	7	14.5	18	14.75	9.75	11	15
1 TYPICAL UNIT	7	14.5	18	14.75	9.75	11	15
PLUMBING CALCULATIONS 3bd/1.5ba TH							
BATHUB or COMBO BATH/SHOWER	1	4	4	3	3	2	2
CLOTHES WASHER	1	4	4	3	3	3	3
KITCHEN SINK (GRINDER & DISHWASHER)	1	3	3	2.25	2.25	2	2
LAVATORY (SINGLE)	2	2	2	1.5	1.5	1	2
WATER CLOSET (1.6 GPF TANK-PRIVATE)	2	2.5	5	0	0	3	6
TOTAL PER UNIT	7	14.5	18	14.75	9.75	11	15
11 TYPICAL UNITS	77	159.5	198	162.25	107.25	121	165
COMMON SPACES							
MOP BASIN	4	3	12	9	9	3	12
HOSE BIBB (FIRST ONE)	4	2.5	10	10	0	---	---
RECEPTOR (ELEVATOR WASTE)	1	0	0	0	0	100	100
CLOTHES WASHER	22	4	88	66	66	3	66
RECEPTOR (INDIRECT WASTE)	9	---	---	---	---	1	9
LAVATORY (SINGLE)	3	1	3	2.25	2.25	1	3
WATER CLOSET (1.6 GPF TANK-PRIVATE)	3	2.5	7.5	0	0	3	9
TOTAL:	46	13	120.5	94.75	77.25	111	199
BUILDING TOTAL							
UNIT TYPE	NUMBER FIXTURE UNITS	WATER FIXTURE UNITS	TOTAL WSFU	TOTAL CW FIXTURE UNITS	TOTAL HW FIXTURE UNITS	TOTAL DFU	
2BD/1BA	80	210	210	170	120	160	
2BD/1BA	148	388.5	388.5	314.5	222	296	
3BD/1.5BA	6	10.5	14	11.75	6.75	12	
2BD/1.5 TH	7	14.5	18	14.75	9.75	15	
3BD/1.5 TH	77	159.5	198	162.25	107.25	165	
COMMONS SPACES	46	13	120.5	94.75	77.25	199	
ELEVATOR SUMP PUMP						100	
TOTAL:	364	796	949	768	543	947	

DOMESTIC WATER DEMAND	180	GPM
DOMESTIC WATER PIPE SIZE	4"	CW
SANITARY SEWER	8"	WASTE

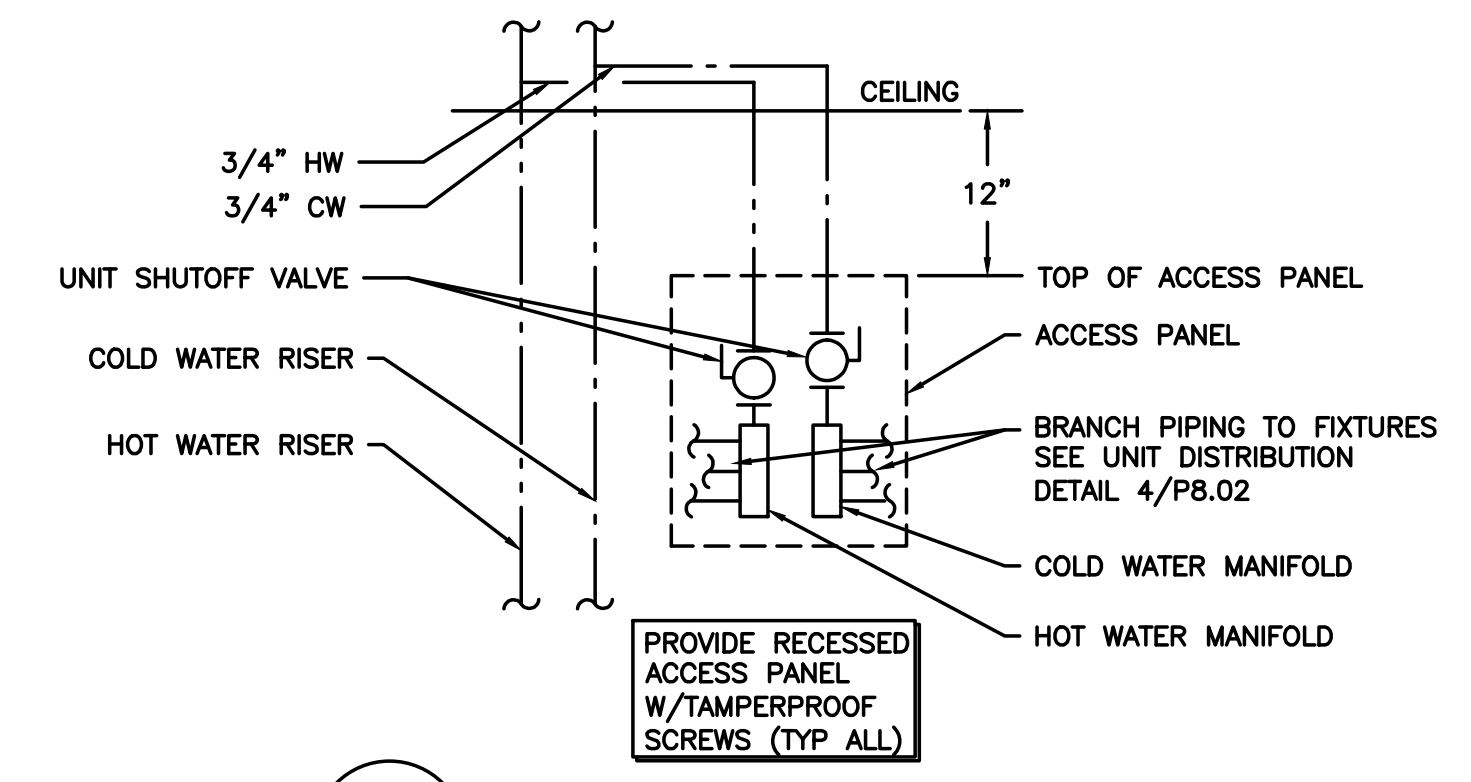
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Consulting Engineers
2007 S.E. Ash St.
Portland, OR 97214
PHN: (503) 234-0548
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CONTACT: Takako Baker



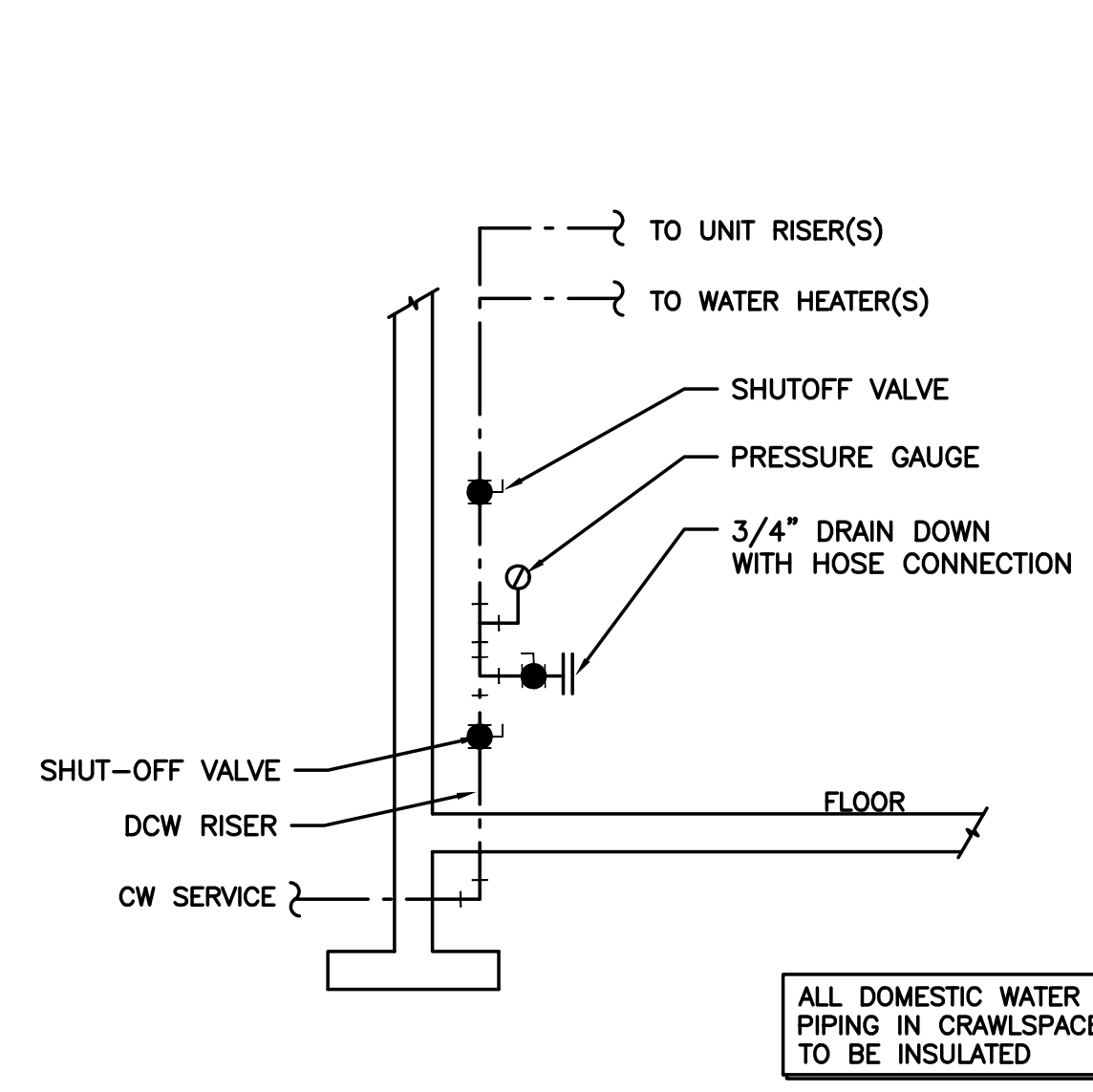
1 WATER HEATER PIPING DETAIL
P6.1 DIAGRAMATIC



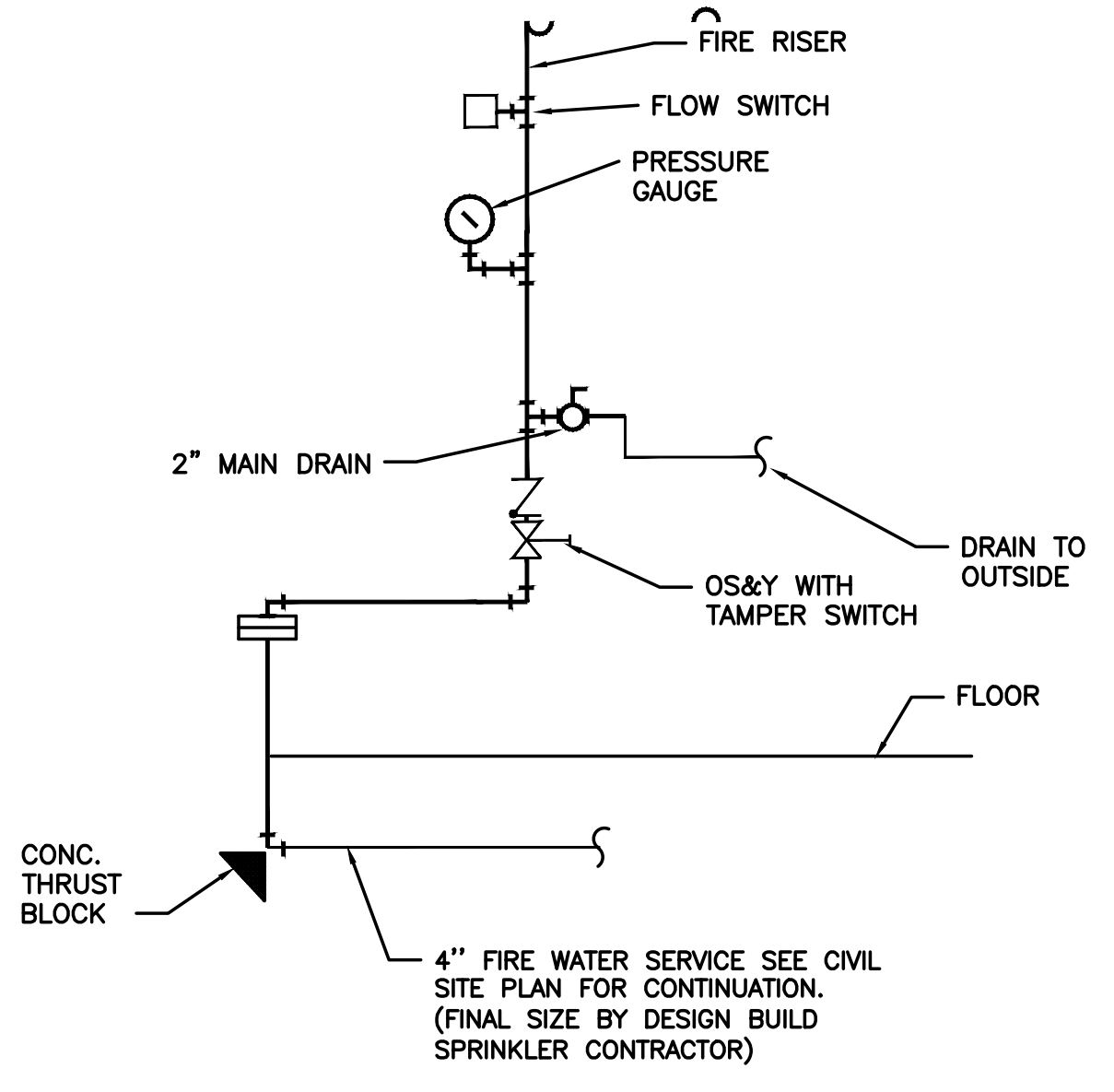
2 MIXING VALVE
P6.1 DIAGRAMATIC



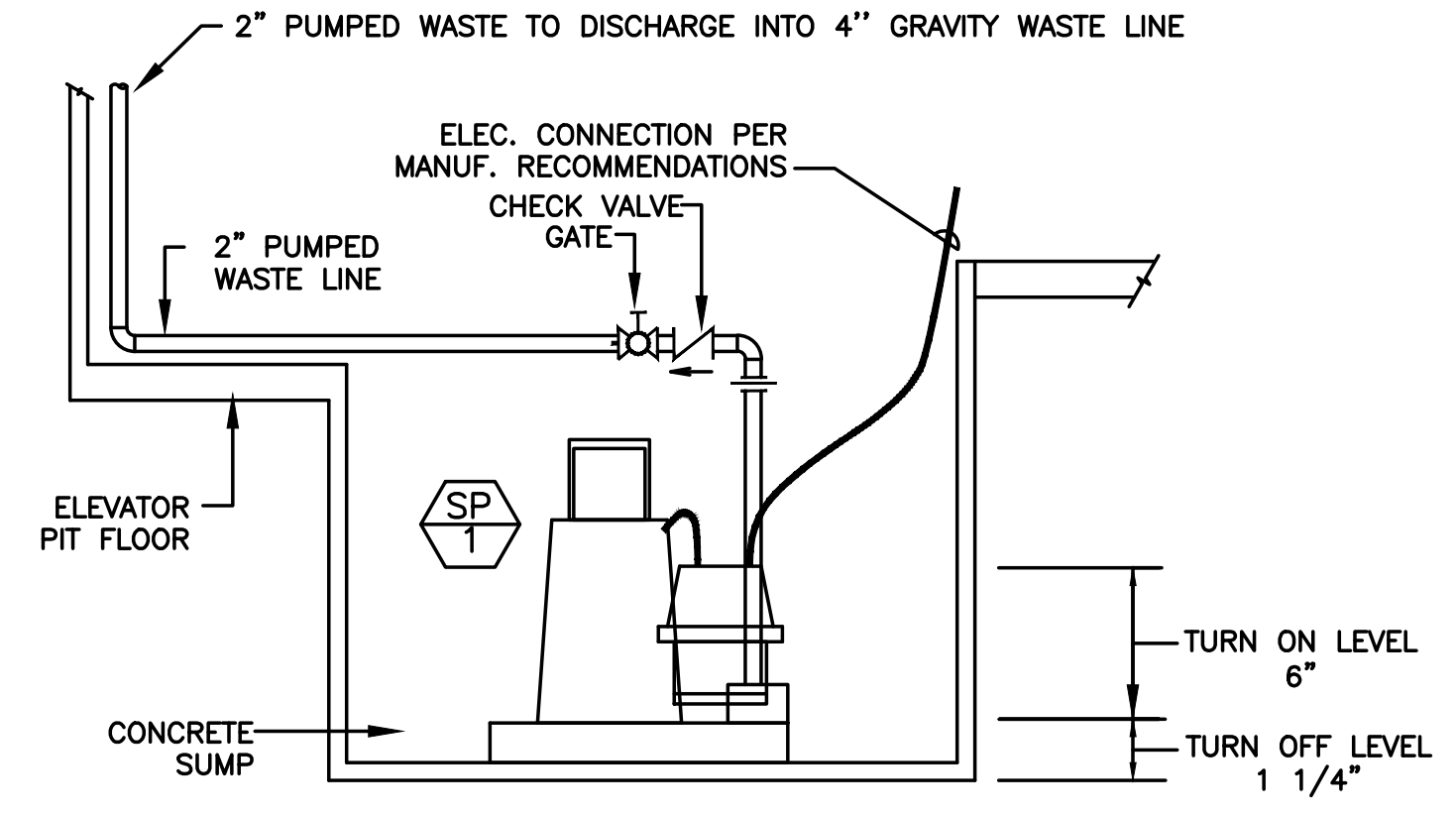
3 UNIT DISTRIBUTION MANIFOLD
P6.1 DIAGRAMATIC



4 DOMESTIC WATER RISER DIAGRAM
P6.1 DIAGRAMATIC

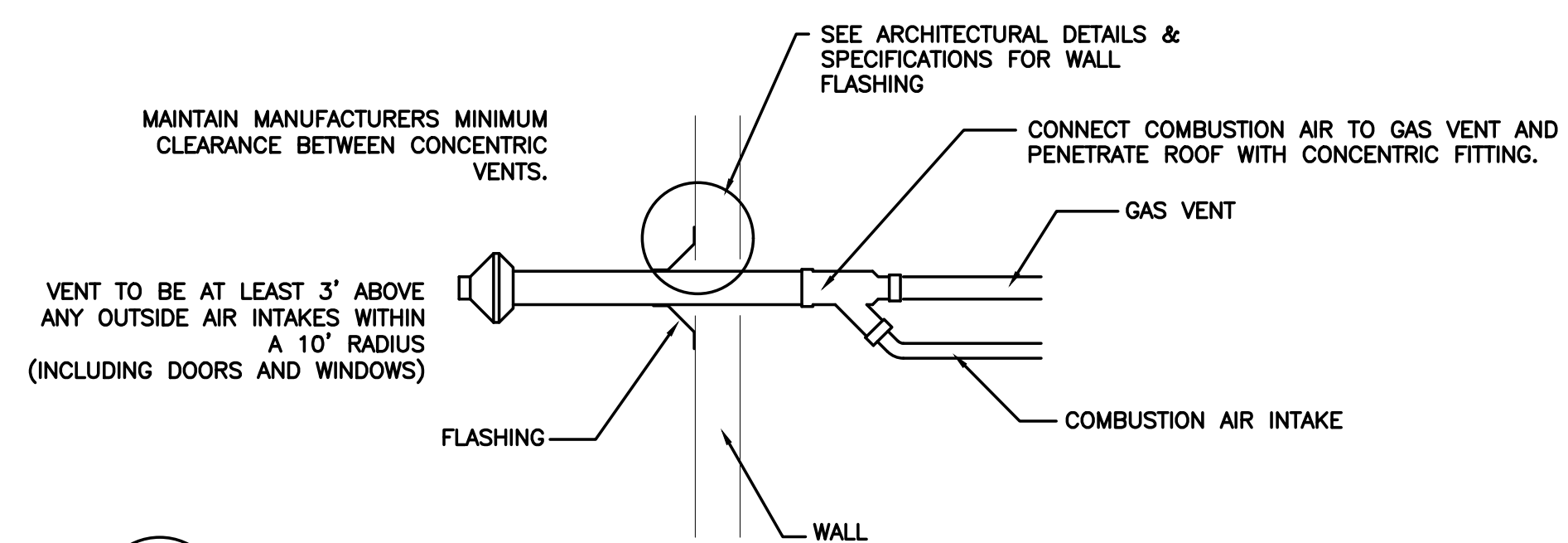


5 FIRE RISER DIAGRAM
P6.1 DIAGRAMATIC

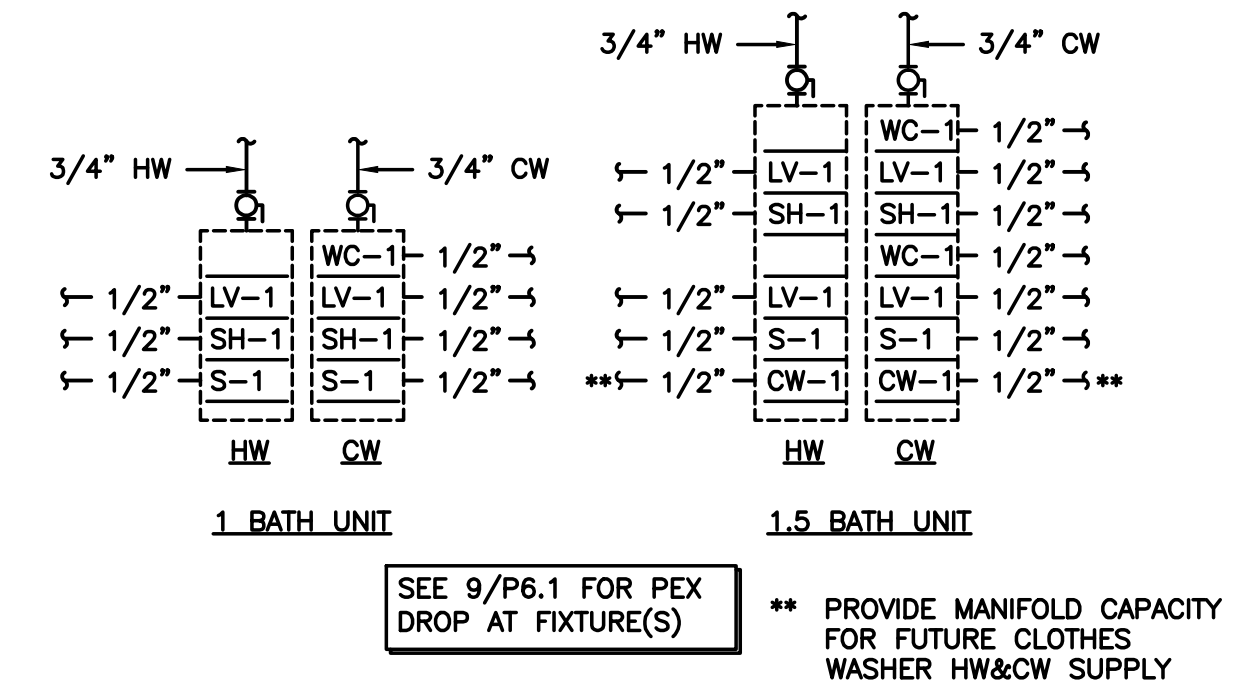


6 TYPICAL ELEVATOR SUMP
P6.1 DIAGRAMATIC

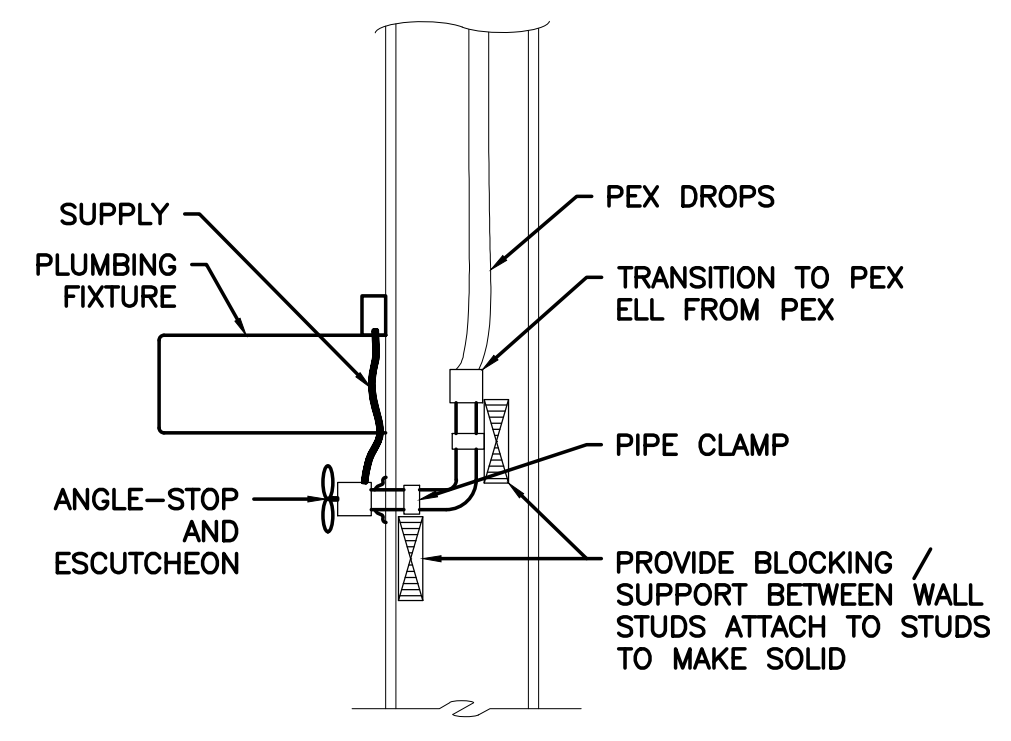
7 NOT USED
P6.1 DIAGRAMATIC



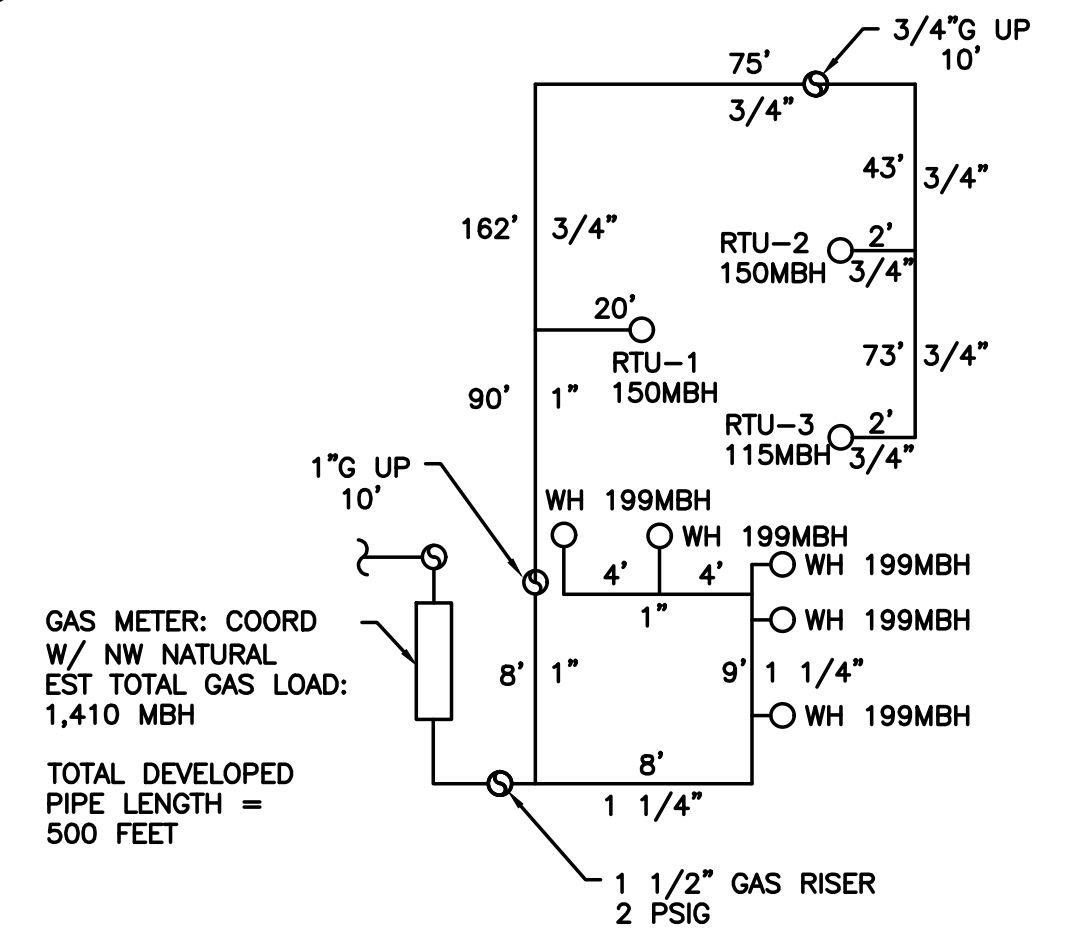
7 CONCENTRIC GAS VENT & COMBUSTION AIR INTAKE
P6.1 DIAGRAMATIC



8 UNIT DISTRIBUTION MANIFOLD
P6.1 DIAGRAMATIC



9 PEX DROP DETAIL
P6.1 DIAGRAMATIC



10 GAS PIPING DIAGRAM
P6.1 DIAGRAMATIC

KING+PARKS MULTI-FAMILY RESIDENCES

PROJECT SITE: NE Martin Luther King Jr. Boulevard & N Rosa Parks Way
OWNER: Portland Community Reinvestment Initiatives Inc. (PCRI)
6329 NE Martin Luther King Jr. Blvd. Portland, Oregon 97211

PROJECT NO. 16-0602
ISSUE DATE 06.23.2017

SHEET

DETAILS

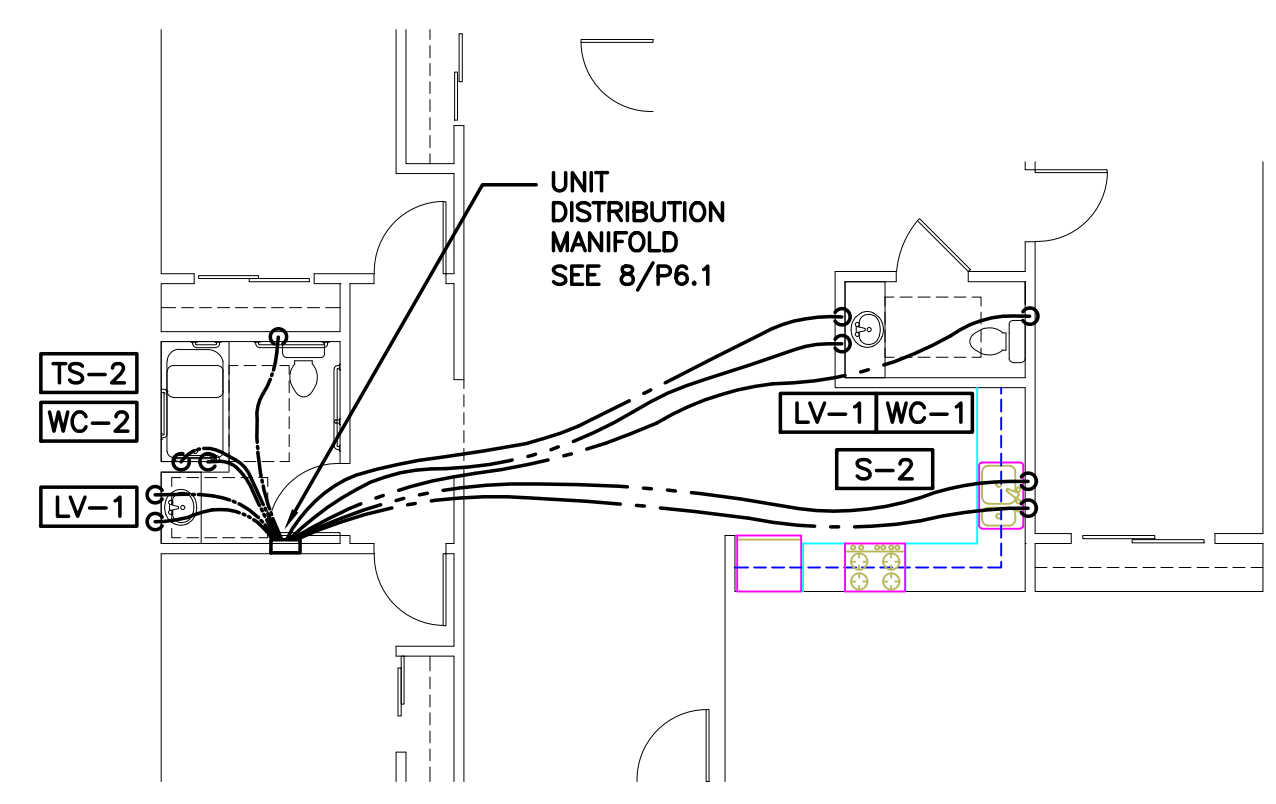
P6.1

NOT FOR CONSTRUCTION
PRICING SET

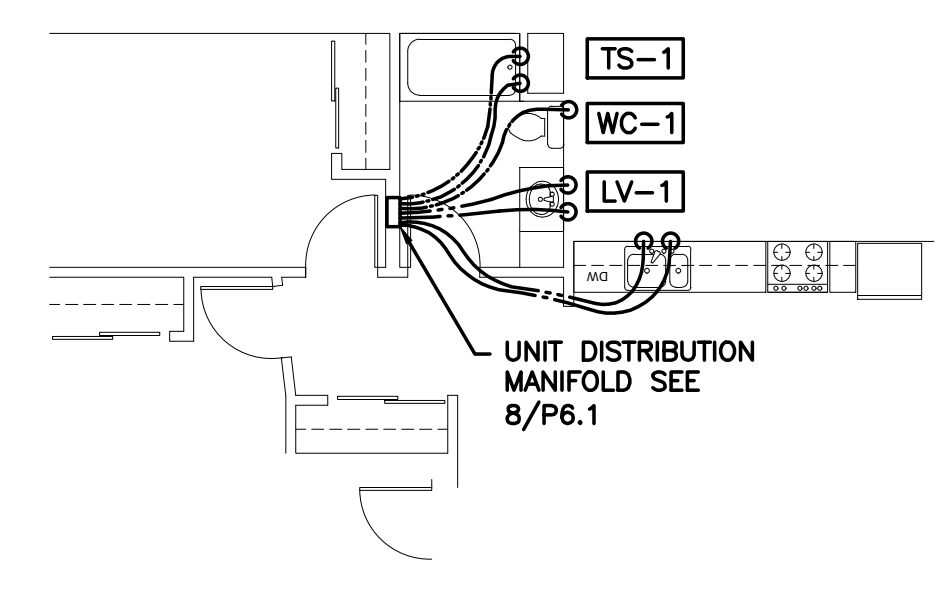
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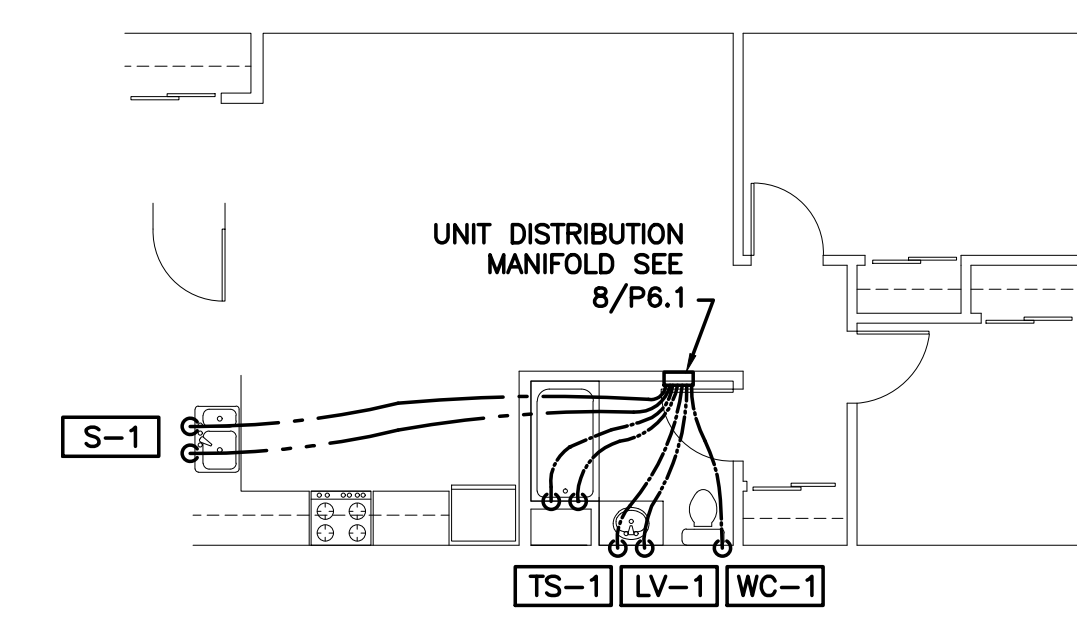
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NOT FOR
CONSTRUCTION



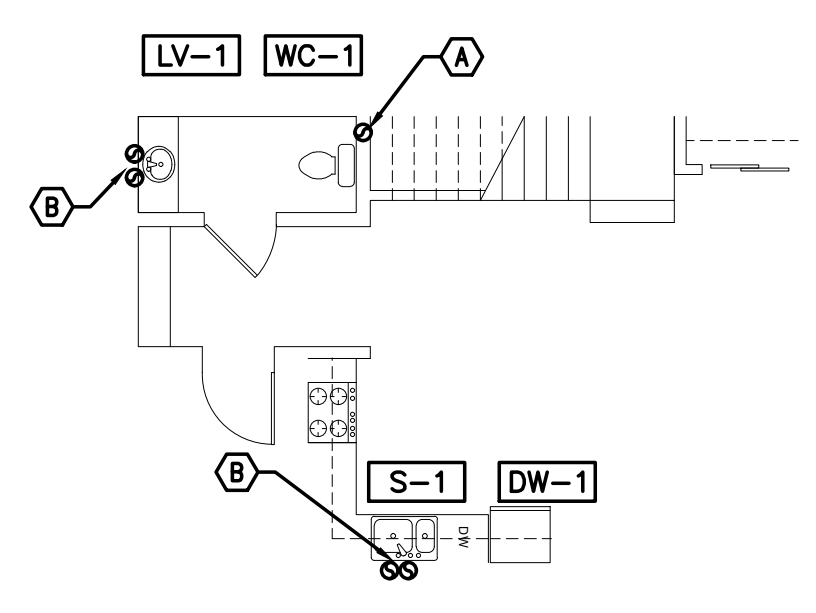
1 GROUND 3BD/1.5 BA ADA
P6.2 SCALE: 1/8"=1'-0"



2 GROUND END 2BD/1BA
P6.2 SCALE: 1/8"=1'-0"

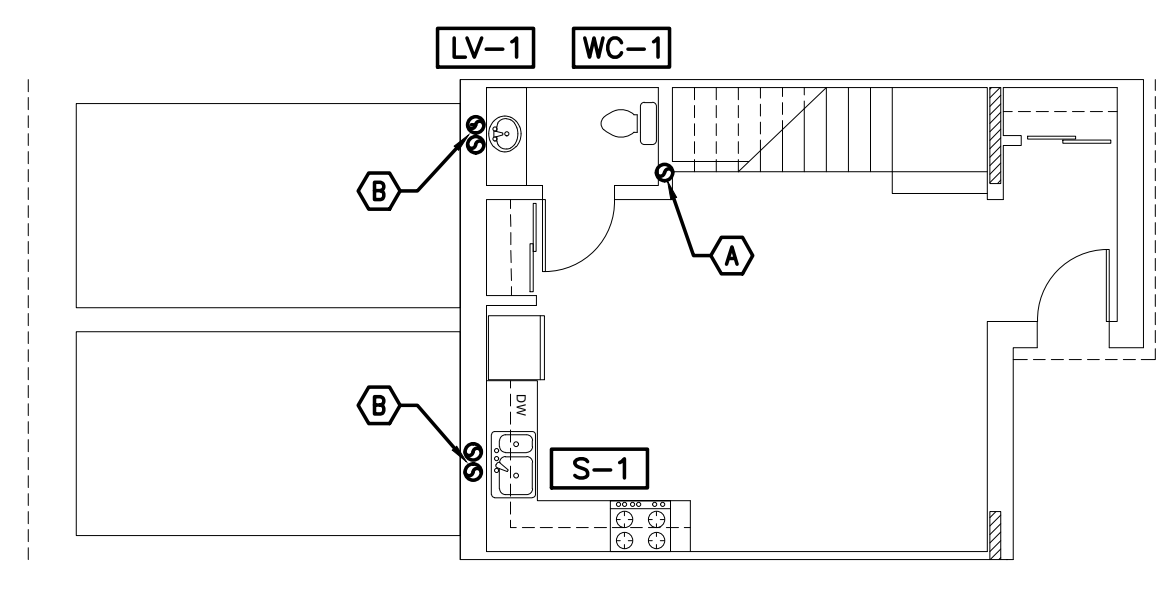


3 GROUND 2BD/1BA
P6.2 SCALE: 1/8"=1'-0"



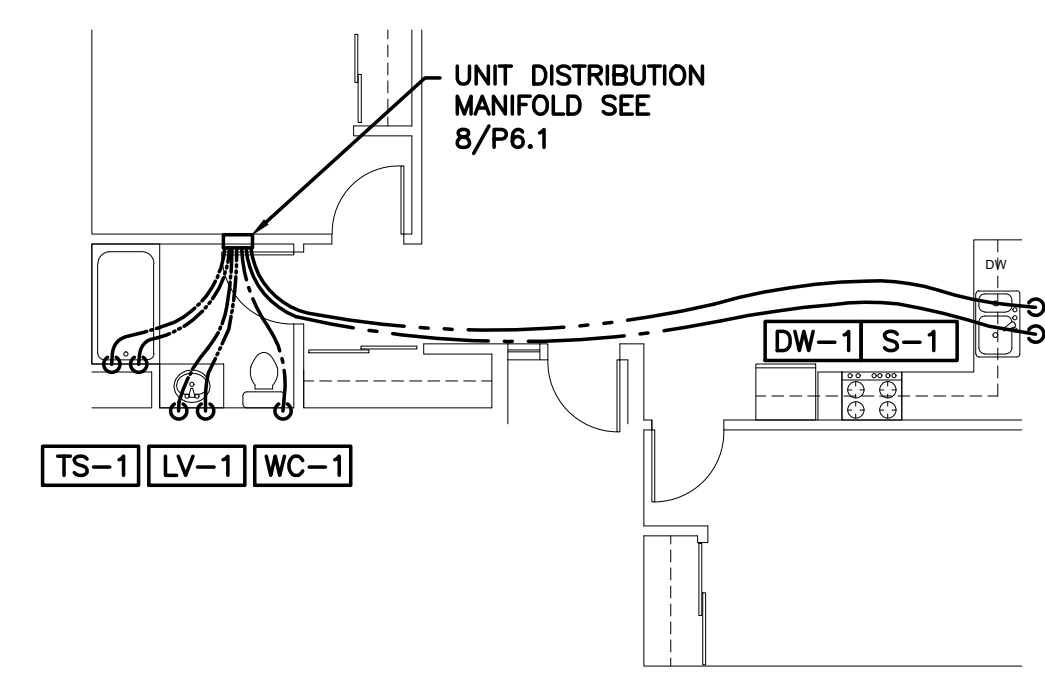
FIRST FLOOR

- KEYED NOTES:
 (A) - 1/2" CW UP TO 2ND FLOOR
 (B) - 1/2" CW & 1/2" HW UP TO 2ND FLOOR

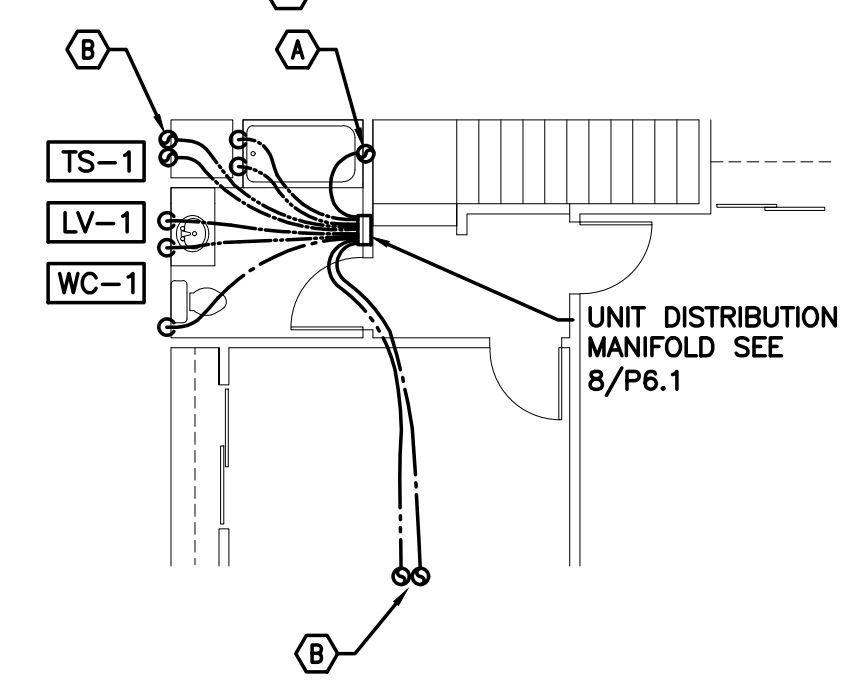


FIRST FLOOR

- KEYED NOTES:
 (A) - 1/2" CW UP TO 2ND FLOOR
 (B) - 1/2" CW & 1/2" HW UP TO 2ND FLOOR

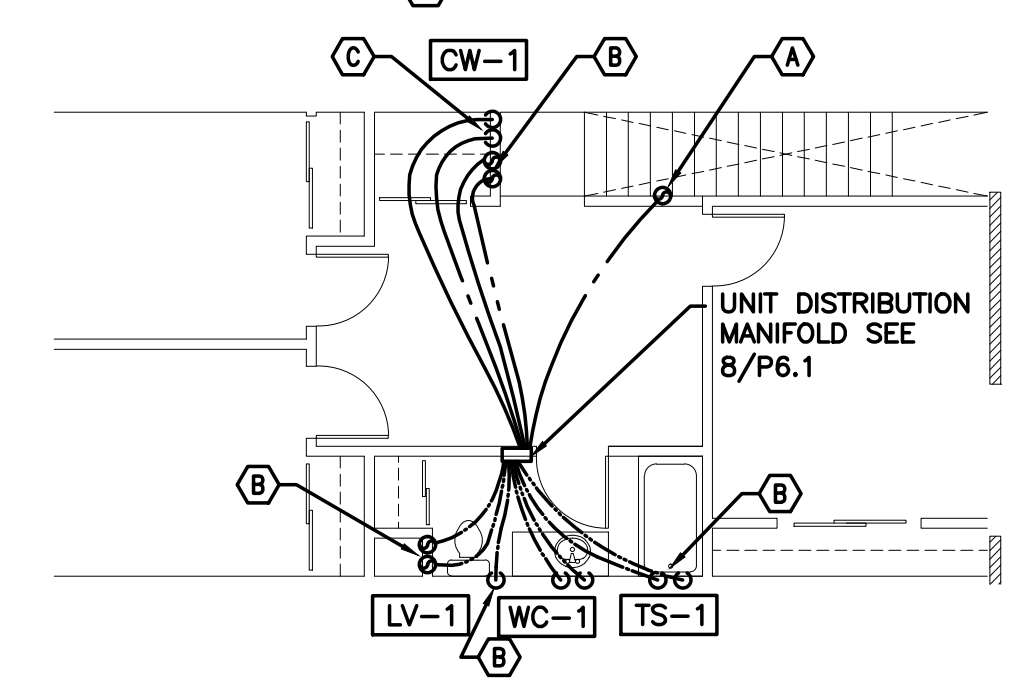


6 2ND, 3RD AND 4TH FLOORS CORNER 2BD/1BA
P6.2 SCALE: 1/8"=1'-0"



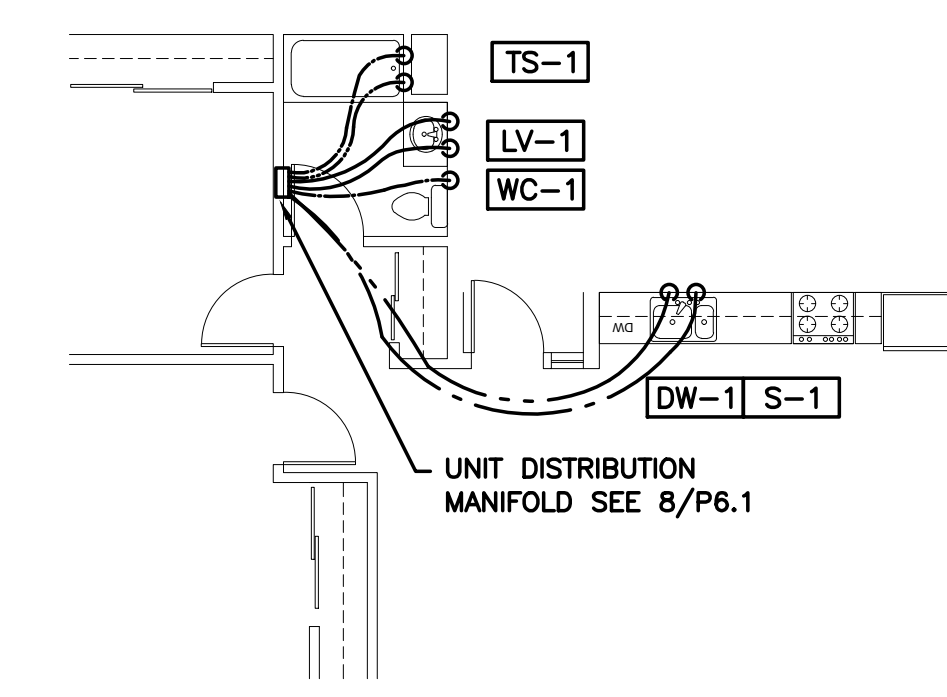
SECOND FLOOR

- KEYED NOTES:
 (A) - 1/2" CW DN TO 1ST FLOOR
 (B) - 1/2" CW & 1/2" HW DN TO 1ST FLOOR
 (C) - 1/2" CW & 1/2" HW TO CW-1 ACCESSIBLE NEXT TO WASHER/DRYER

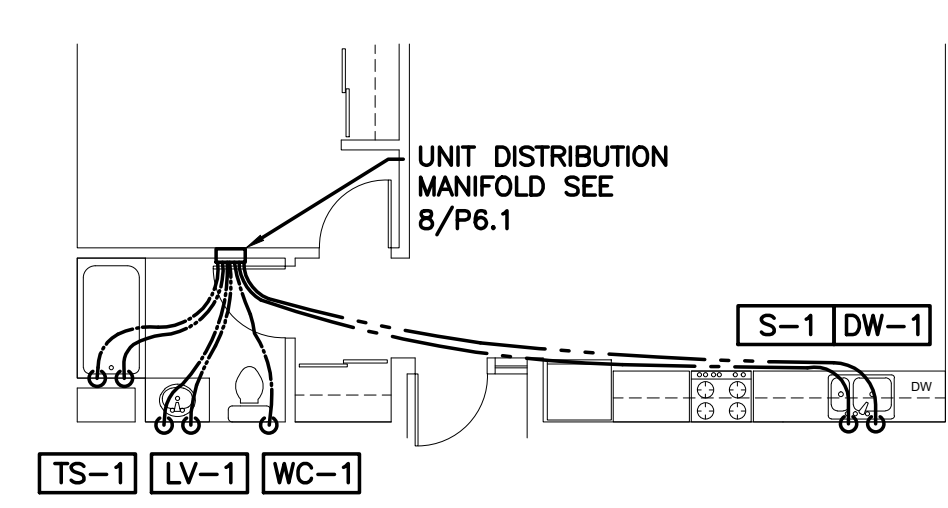


SECOND FLOOR

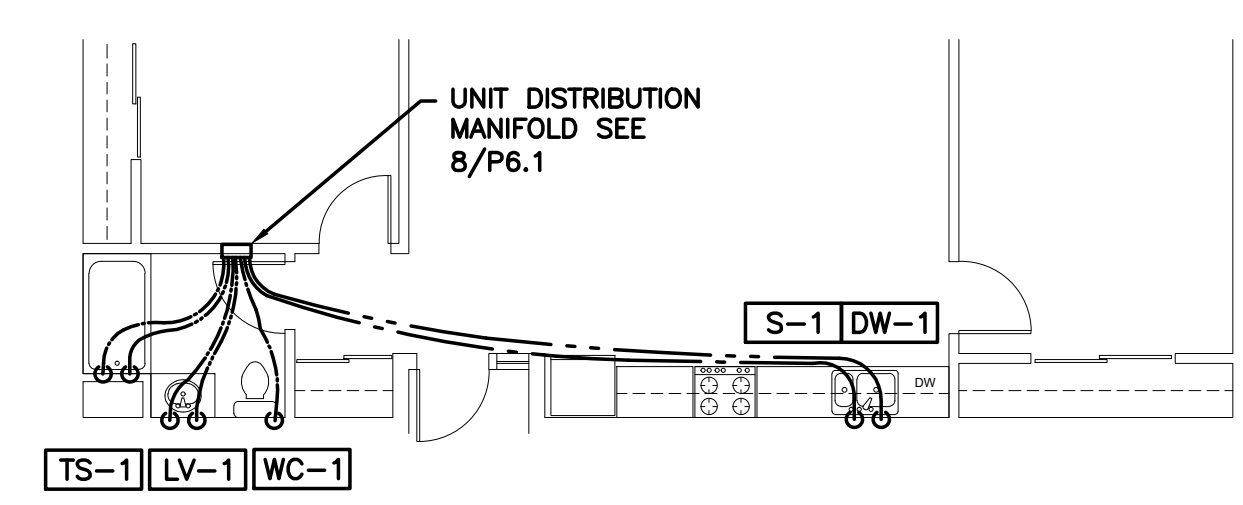
- KEYED NOTES:
 (A) - 1/2" CW DN TO 1ST FLOOR
 (B) - 1/2" CW & 1/2" HW DN TO 1ST FLOOR
 (C) - 1/2" CW & 1/2" HW TO CW-1 ACCESSIBLE NEXT TO WASHER/DRYER



4 2BD/1.5BA TOWNHOUSE DETAIL
P6.2 SCALE: 1/8"=1'-0"



5 3BD/1.5BA TOWNHOUSE DETAIL
P6.2 SCALE: 1/8"=1'-0"



7 2ND, 3RD AND 4TH FLOORS FLAT 2BD/1BA
P6.2 SCALE: 1/8"=1'-0"

8 2ND, 3RD AND 4TH FLOORS FLAT 1BD/1BA
P6.2 SCALE: 1/8"=1'-0"

9 2ND, 3RD AND 4TH FLOORS FLAT 2BD/1BA
P6.2 SCALE: 1/8"=1'-0"

KING+PARKS MULTI-FAMILY RESIDENCES

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PLANS

P6.2

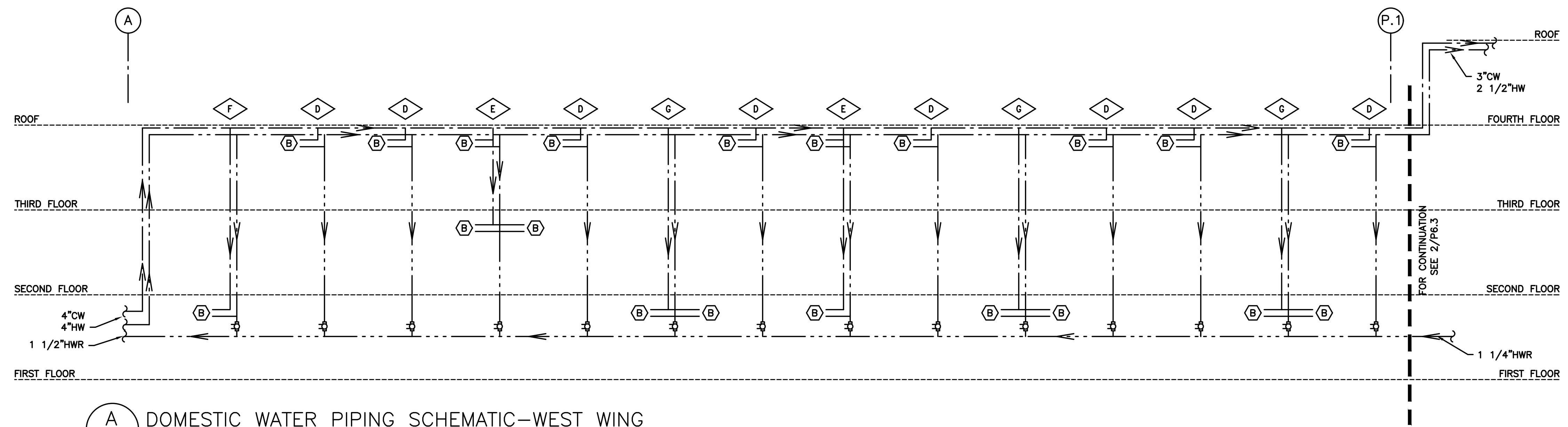
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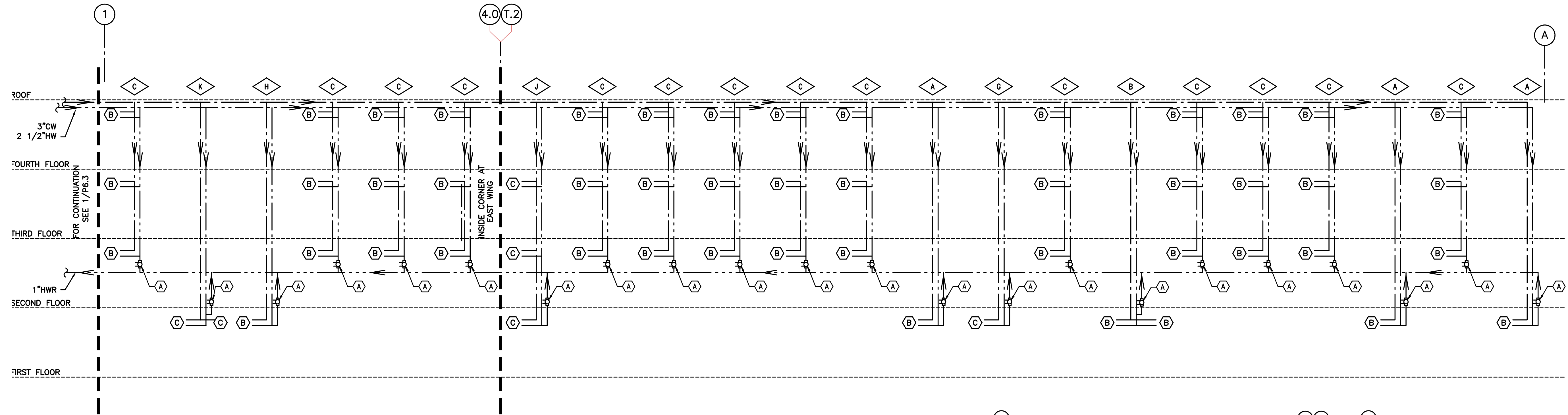
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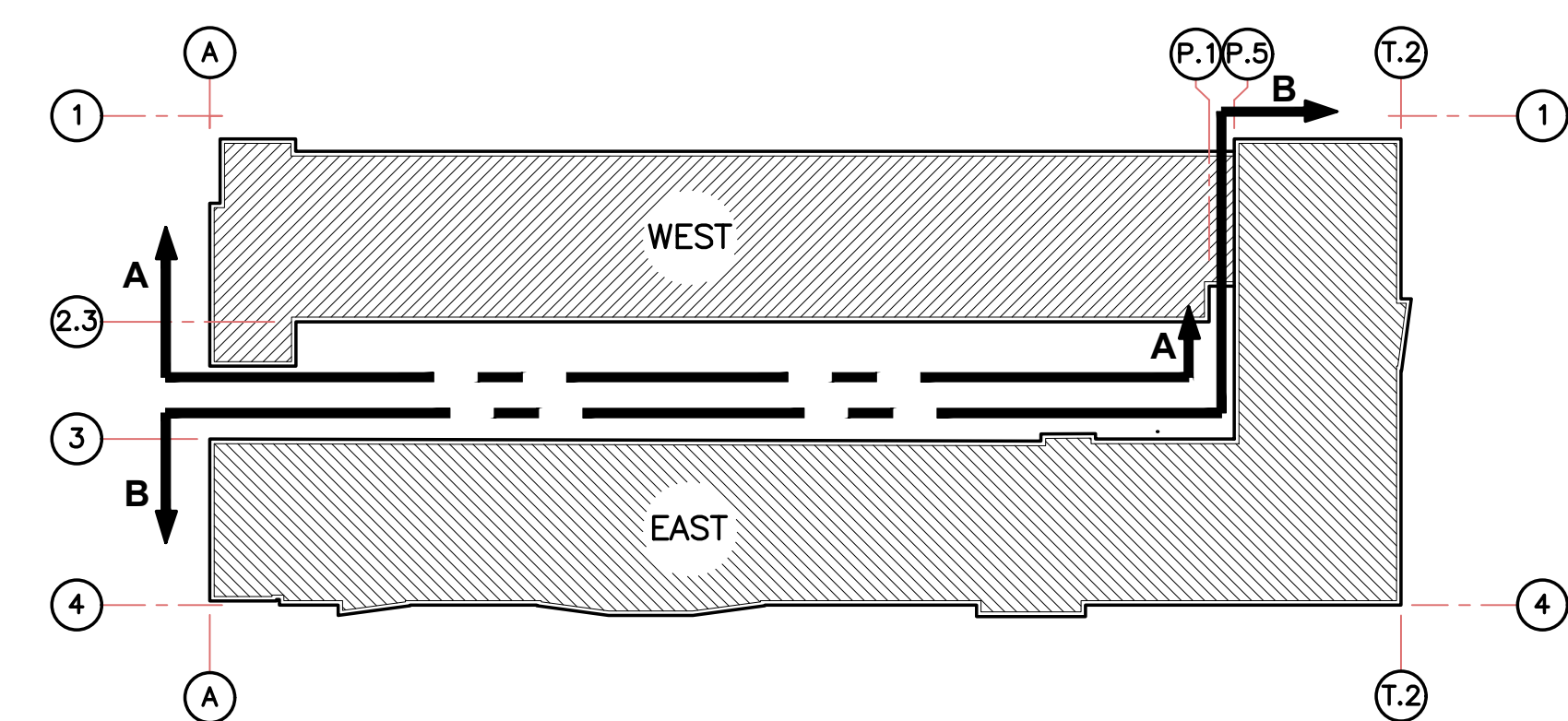


A DOMESTIC WATER PIPING SCHEMATIC—WEST WING
P6.3 NO SCALE



B DOMESTIC WATER PIPING SCHEMATIC—EAST WING
P6.3 NO SCALE

- KEYED NOTES:**
- (A) - BALANCING VALVE SET TO 0.75 GPM.
 - (B) - UNIT DISTRIBUTION MANIFOLD SEE 8/P6.1
 - (C) - PROVIDE SHUT-OFF VALVE(S).



C KEY PLAN
P6.3 NO SCALE

MFI Consulting Engineers
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SHEET
DOMESTIC WATER
DIAGRAM
P6.3
NOT FOR CONSTRUCTION
PRICING SET
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