

Radical Rosewood Feasibility Study
January 29, 2016

Project Summary

1. Purpose

The purpose for the Radical Rosewood Project is to create an environment that supports their new care model of the Patient-Centered Medical Home. Former shared Provider Offices and traditional Nurse Station will be converted into multi-disciplinary Care Team Rooms that bring the care team together to foster collaboration and improve outcomes for the patients they serve, and create small patient consult-style rooms, and support space needed to facilitate the increased capacity of staff and the increased volume of patients.

2. Scope

The improvements required to support this new care model are outlined in the following documents and summarized by the descriptions below by discipline.

- *Architecture:* The impact of this project on the existing walls and doors is quite minimal. With the replacement of existing swing doors to sliding doors at Care Team rooms, adding one sliding door to create a staff work area near the Staff Lounge and creating a curtained scale alcove, modification to the casework in the Staff Lounge to accommodate an additional counter refrigerator, removal of viewing window in the existing nurses' station future care team room, and replacing the flooring, base, and repainting the affected rooms, this is the extent of the architectural intervention. The add alternate scope includes replacing carpet and paint in care team rooms 604, 606, and 608 and centering new sliding doors in care team rooms 606 and 608 to provide additional space.
- *Furniture:* Furnish Care Team Rooms with modular furniture, providing 5 permanent workstations and 2 hoteling stations per room. Consult Rooms will be furnished with comfortable and appropriate furniture that will create an environment that is suitable for a consult-type visit with their provider.
- *Equipment:* New equipment will be specified by YVFWC, utilize existing equipment where possible. New equipment will include 18 new digital scales to accommodate having a scale in each exam room and one new refrigerator in the staff lounge to accommodate the additional staff load. Information Services equipment will include four new wireless access points, three new printers, and four new label printers. This does not include new computer or phone equipment.
- *Mechanical:* Due to increased staff capacity and heat loads in the Care Team rooms, the existing mechanical roof top units do not have capacity to serve this

increased load. With minimal roof top space a conventional 5-ton roof top unit is too large for the roof, so the team is proposing a 3 zone multi split heat pump system for Team centers 604, 606 and 608. A single outdoor unit reduces installation space on the roof and cost while maximizing comfort for individual zone and energy savings. Each indoor cassette unit with individual controls will be connected to the outdoor unit. For team center 206, the team is proposing a single split system with an indoor cassette unit. The existing system will remain as is with some balancing adjustment to meet the code required ventilation rate.

- *Electrical:* Add necessary power outlets to support new workstation configuration and will be added to the existing panelboard. Outlets added to exam rooms will support the addition of electronic scales. The added power will also support the new equipment in support areas and the new roof top/indoor mechanical units.
 - *Low Voltage:* Data drops will be added to support the new workstation arrangement and capacities, and will also be added to support new equipment as required.
- a. Key Assumptions:
 - Leverage furniture systems for adaptability, consistency and space efficiency
 - Minimize disruption and construction where possible
 - Construction will occur on weekends
 - Proper Infection Control precautions will be maintained throughout course of construction.
 - b. Exclusions
 - Flooring and paint will be included in this project in affected rooms only.
 - New computer and phone equipment is not included in this project. New equipment will be purchased as staff are hired.
 - c. Alternates
 - Remove existing swing doors in Care Team Rooms (606 & 608), and center new sliding door in east wall. This will relieve some of the tight feeling within the room when first entered that is created by the shred-it bin. The dimension between the door frame and the bin is 3'-0" without this alternate.
 - Replace carpet and paint in care team rooms 604, 606, and 608.
3. Schedule Assumption
 - The schedule shown on the next page assumes an 8 week lead time and HVAC lead time which is **contingent upon funding approval by February 8th**.

4. Schedule

Activity	Week of													
	1/25	2/1	2/8	2/15	2/22	2/29	3/7	3/14	3/21	3/28	4/4	4/11	4/18	4/25
Submit Feasibility Study														
YVFWC Leadership Review/Approval														
Design and Document														
Furniture & Equipment (Design & Order)														
Issue Documents to Contractor														
Construction														
Move In/Go Live														

5. Budget

- Furniture & Equipment Budget (see attachments)
- Construction Budget (see attachments)

6. Attachments/Drawings:

SHEET	TITLE	DESCRIPTION
	Information Services Feasibility Study	
	Triplett Wellman Bid and Budget Notes	
	Furniture Budget	
G0.00	TITLE SHEET	
D2.01	DEMO PLAN	Illustrates extent of demolition
A2.01	FLOOR PLAN	Floor Plan illustrates project scope for architecture,

		furniture and equipment
A2.02	FURNITURE 3Ds & PRODUCT PHOTOS	Proposed furniture solutions
A6.01	REFLECTED CEILING PLAN	In Progress Shows extent of impact to existing ceilings
	CUTSHEETS	Typical Sliding Doors & Relite, Mitsubishi Electric Split System
M2.01	HVAC PLAN	Locates and specifies indoor units and duct work
M2.02	HVAC ROOF PLAN	Locates new roof top units on roof
E300	POWER & SIGNAL	Locates power and data locations

Clark/Kjos Architects, LLC
Jessica Radecki, AIA

Enclosure: Budget Summary, Information Services Report, Triplett Wellman Construction Notes and Bid, Furniture Estimate, and Drawing Set

YVFWC Radical Rosewood
Preliminary Furniture & Equipment Budget January 25, 2016

Furniture

Room Number	Room Name	Items	Price	Quantity	Subtotal
604, 606, 608, 206	Care Team Room	Storage Cabinet (Rm 206 only)	\$603.33	1	\$603.33
		Workstation Furniture: Tall Wall Rails, Flipper Cabinet (Locked), 48" Worksurface, Task light, Tackboard, Ped File Cabinet, Privacy Panel, Task Chair	\$2,000.00	20	\$40,000.00
		Montior arm - Single	\$220.00	12	\$2,640.00
		Montior arm - Dual	\$352.00	8	\$2,816.00
		Hotel Furniture: Tall Wall Rails, 30" Worksurface, Pencil drawer, Hutch	\$700.00	8	\$5,600.00
111,208	Small Consults	Furniture: Small Table, HON Stacker Chair, Bench	\$3,073.40	2	\$6,146.80
506	Behavioral Health	Furniture: 48" workstation, Flipper Cabinet (locked), Ped File Cabinet, Monitor Arm, 1 Task Chair, Tall Cabinet	\$2,403.33	2	\$4,806.66
		2 Chairs, Settee, Small Table	\$8,361.00	1	\$8,361.00
106, 209	Consult, Patient Insurance Consult	Workstation: 48" Freestanding Workstation, Flipper Cabinet (locked), Ped File Cabinet, Tackboard, Tasklight, Task Chair, Monitor Arm,	\$1,800.00	2	\$3,600.00
		Furniture: 4 Stacking chairs, 1 Table	\$4,523.14	2	\$9,046.28
308, 407, 507	MA Station	Task Chairs (Low Back Stools)	\$337.12	9	\$3,034.08
203	Admin Office				\$0.00
		Furniture: 48" Freestanding Workstation, Flipper Cabinet (locked), Ped File Cabinet, Tackboard, Tasklight, Task Chair, Monitor Arm, 4 Stacking chairs	\$3,952.96	1	\$3,952.96
		*Reuse Existing Desk for Director and existing table			
612	Staff Lounge				

Furniture: Two 42" square tables and 8 HON Stacking chairs	\$2,747.56	1	\$2,747.56
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<i>Furniture Subtotal</i>			<i>\$93,354.67</i>
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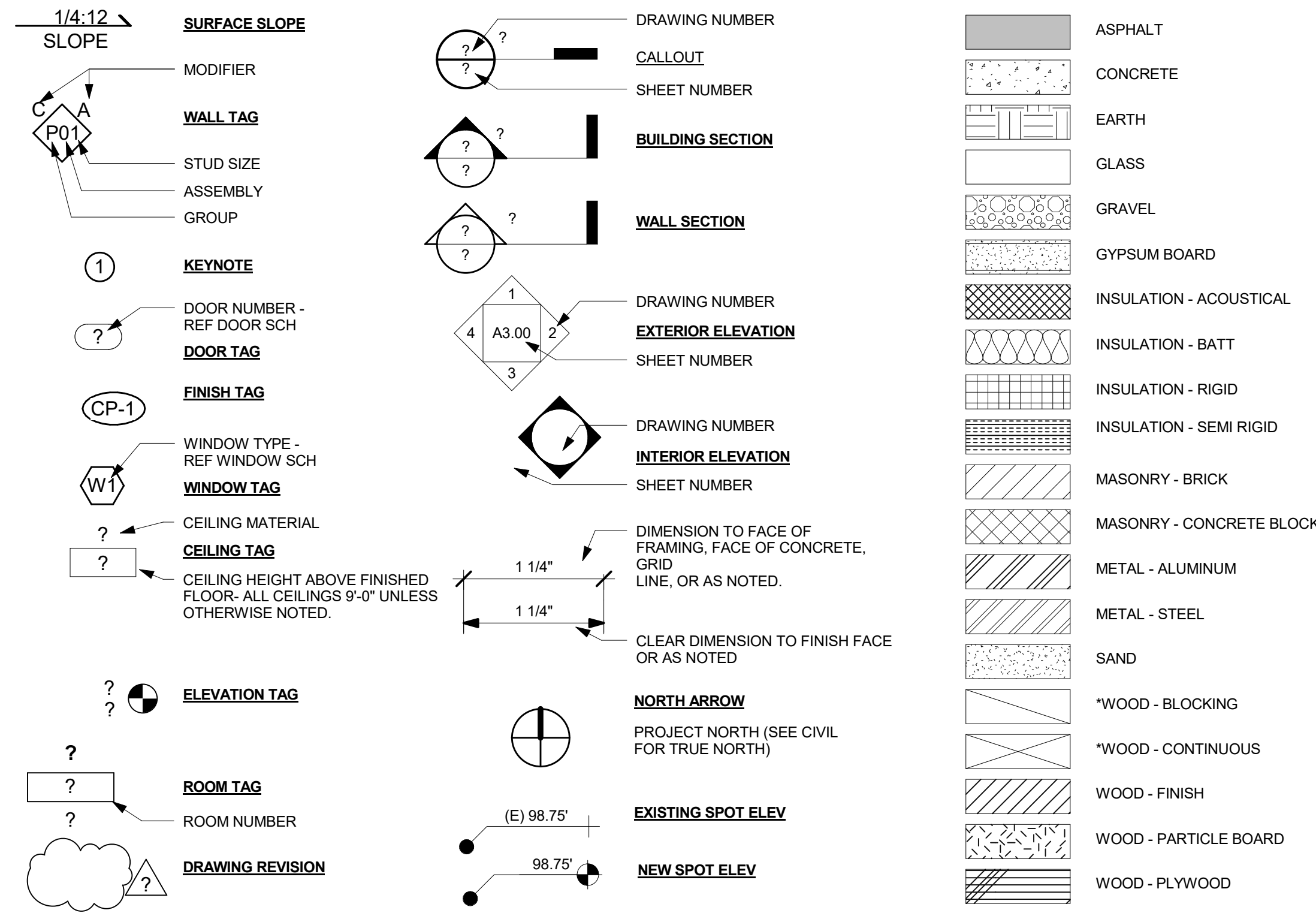
Installation Subtotal is included in Construction Budget

RADICAL ROSEWOOD

YAKIMA VALLEY FARM WORKERS CLINIC

8935 SE POWELL BLVD. PORTLAND, OR 97266

SYMBOLS AND FILL PATTERNS



PROJECT CONTACTS

Owner: Yakima Valley Farm Workers Clinic
 604 West First Ave.
 PO Box 150
 Tappanish, WA 98948
 TEL: (509) 865-8898 ext. 2393
 ATTN: Robin K. Southards
 EMAIL: robin@yfwc.org

MEP: MEIA, Inc. Consulting Engineers
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 Portland, Oregon 97214
 TEL: (503) 234-0548
 ATTN: John van Bladeren
 EMAIL: john.vanbladeren@meia-eng.com

Architect: Clark/Kjos Architects
 333 NW Fifth Avenue
 Portland, OR 97209
 TEL: (503) 224-4848
 FAX: (503) 224-7116
 ATTN: Jessica Radecki
 EMAIL: jessicaradecki@ckarch.com

DATA: Yakima Valley Farm Workers Clinic
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 TEL: (509) 865-6175 ext. 2507
 ATTN: Carrie Clements
 EMAIL: CarrieC@yfwc.org

-GENERAL-

G0.00 GEN. NOTES, SYMBOL, ABBRE. & FINISH CODE

-MECHANICAL-

M2.01 LEVEL 1 PARTIAL HVAC FLOOR PLAN
 M2.02 LEVEL 1 PARTIAL ROOF PLAN

-ARCHITECTURAL-

D2.01 DEMOLITION ARCHITECTURAL

-ELECTRICAL-

E3.00 FLOOR PLAN POWER/SIGNAL

A3.01 LEVEL 1 PLAN
 A2.02 FURNITURE 3DS & PRODUCT PHOTOS
 A6.01 REFLECTED CEILING PLAN- LEVEL 1

ABBREVIATIONS

±	APPROXIMATELY	EP	ELECTRICAL PANEL	NO.	NUMBER
∅	CENTERLINE	EQ	EQUAL	NTS	NOT TO SCALE
∅	DIAMETER	EQP	EQUIPMENT	O	OVERALL
∠	ANGLE	EWC	ELECTRIC WATER COOLER	O.A.	ON CENTER
⊥	PERPENDICULAR	EXP	EXPOSED	O.C.	ON CENTER
A	ACOUST	EXT	EXTERIOR	O.D.	OUTSIDE DIAMETER
ACT	ACOUSTICAL TILE	F.A.	FIRE ALARM	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
A.D.	AREA DRAIN	F.B.	FLAT BAR	OFOI	OWNER FURNISHED, OWNER INSTALLED
ADJ	ADJUSTABLE	F.D.	FLOOR DRAIN	OPNG	OPENING
AFF	ABOVE FINISH FLOOR	F.D.N.	FOUNDATION	OPP	OPPOSITE
AGGR	AGGREGATE	FE	FIRE EXTINGUISHER	ORD	OVERFLOW ROOF DRAIN
AL	ALUMINUM	FEC	FIRE EXTINGUISHER CABINET	R	RELOCATE
APPROX	APPROXIMATE	FF	FOIL FACED	(R)	RADIUS
ARCH	ARCHITECTURAL	FHC	FIRE HOSE CABINET	RD	ROOF DRAIN
ASB	ASBESTOS	FIN	FINISH	REF	REFRIGERATOR
ASPH	ASPHALT	FL	FLOOR	REFER	REFERENCE
B	BOARD	F.O.C.	FACE OF CONCRETE	RGTR	REGISTER
BD	BITUMINOUS	F.O.F.	FACE OF FINISH	REQ	REQUIRED
BLDG	BUILDING	F.O.S.	FACE OF STUDS	RM	ROOM
BLK	BLOCK	FT	FOOT OR FEET	R.O.	ROUGH OPENING
BLKG	BLOCKING	FTG	FOOTING	S	SOUTH
BM	BEAM	FURR	FURRING	SAM	SELF ADHERED MEMBRANE
BOT	BOTTOM	FUT	FUTURE	SC	SOLID CORE
BR	BUMPER RAIL	G	GAUGE	S.C.D	SEAT COVER DISPENSOR
C	CABINET	GALV	GALVANIZED	S.D.	SOAP DISPENSOR
C.B.	CATCH BASIN	GB	GRAB BAR	SECT	SECTION
CER	CERAMIC	GL	GLASS	SHT	SHEET
C.I.	CAST IRON	GND	GROUND	SIM	SIMILAR
CG	CORNER GUARD	GR	GRADE	S.N.D.	SANITARY NAPKIN DISPENSER
CGF	CORNER GUARD FULL HEIGHT	GYP	GYPSONUM	S.N.R.	SANITARY NAPKIN RECEPTACLE
CHR	CHAIR RAIL	H	HOSE BIB	S.P.T.	SPECIMIN PASS THROUGH
CLO	CLOSET	H.C.	HOLLOW CORE	SQ	SQUARE
CLR	CLEAR	HDWD	HARDWOOD	SST	STAINLESS STEEL
CJ	CONTROL JOINT	HDWE	HARDWARE	STA	STATION
C.O.	CASED OPENING	HM	HOLLOW METAL	STD	STANDARD
COL	COLUMN	HORIZ	HORIZONTAL	STL	STEEL
CONC	CONCRETE	HT	HORIZONTAL HEIGHT	STRUCT	STRUCTURAL
CONN	CONNECTION	I	INSIDE DIAMETER	SUSP	SUSPENDED
CONSTR	CONSTRUCTION	I.D.	INSIDE DIAMETER	SYM	SYMMETRICAL
CONT	CONTINUOUS	INSUL	INSULATION	T.B.	TOWEL BAR
CORR	CORRIDOR	INT	INTERIOR	T.C.	TOP OF CURB
CTSK	COUNTERSUNK	J	JANITOR	TEL	TELEPHONE
CNTR	COUNTER	JAN	JANITOR JOINT	T&G	TONGUE AND GROOVE
D	DOUBLE	JT	JOINT	THK	THICK
DBL	DEPARTMENT	L	LABORATORY	T.O.P.	TOP OF PAVEMENT
DEPT	DEPARTMENT	LAB	LABORATORY	T.P.D.	TOILET PAPER DISPENSER
D.F.	DRINKING FOUNTAIN	LAM	LAMINATE	TV	TELEVISION
DET	DETAIL	LAV	LAVATORY	T.O.W.	TOP OF WALL
DIA	DIAMETER	LT	LIGHT	TYP	TYPICAL
DIM	DIMENSION	M	MAXIMUM	U	UNDERWRITERS LABORATORY
DISP	DISPENSER	MAX	MECHANICAL	UNF	UNFINISHED
DN	DOWN	MECH	MECHANICAL	V	VERTICAL
DWR	DRAWER	MEMB	MEMBRANE	VERT	VERTICAL
DS	DOWNSPOUT	MFR	MANUFACTURER	VEST	VESTIBULE
D.S.P.	DRY STANDPIPE	M.H.	MANHOLE	V.I.F.	VERIFY IN FIELD
DWG	DRAWING	MIN	MINIMUM	W	WEST
E	EAST	MIR	MIRROR	W	WITH
(E)	EXISTING	MISC	MISCELLANEOUS	W.C.	WATER CLOSET
EA	EACH	M.O.	MASONRY OPENING	WD	WOOD
EJ	EXPANSION JOINT	MTD	MOUNTED	W/O	WITHOUT
ELEC	ELECTRICAL	MUL	MULLION	WP	WATERPROOF
ELEV	ELEVATION	N	NORTH	WPR	WALL PROTECTION
EMER	EMERGENCY	(N)	NORTH	WRB	WEATHER RESISTANT BARRIER
ENCL	ENCLOSURE	N.I.C.	NOT IN CONTRACT		

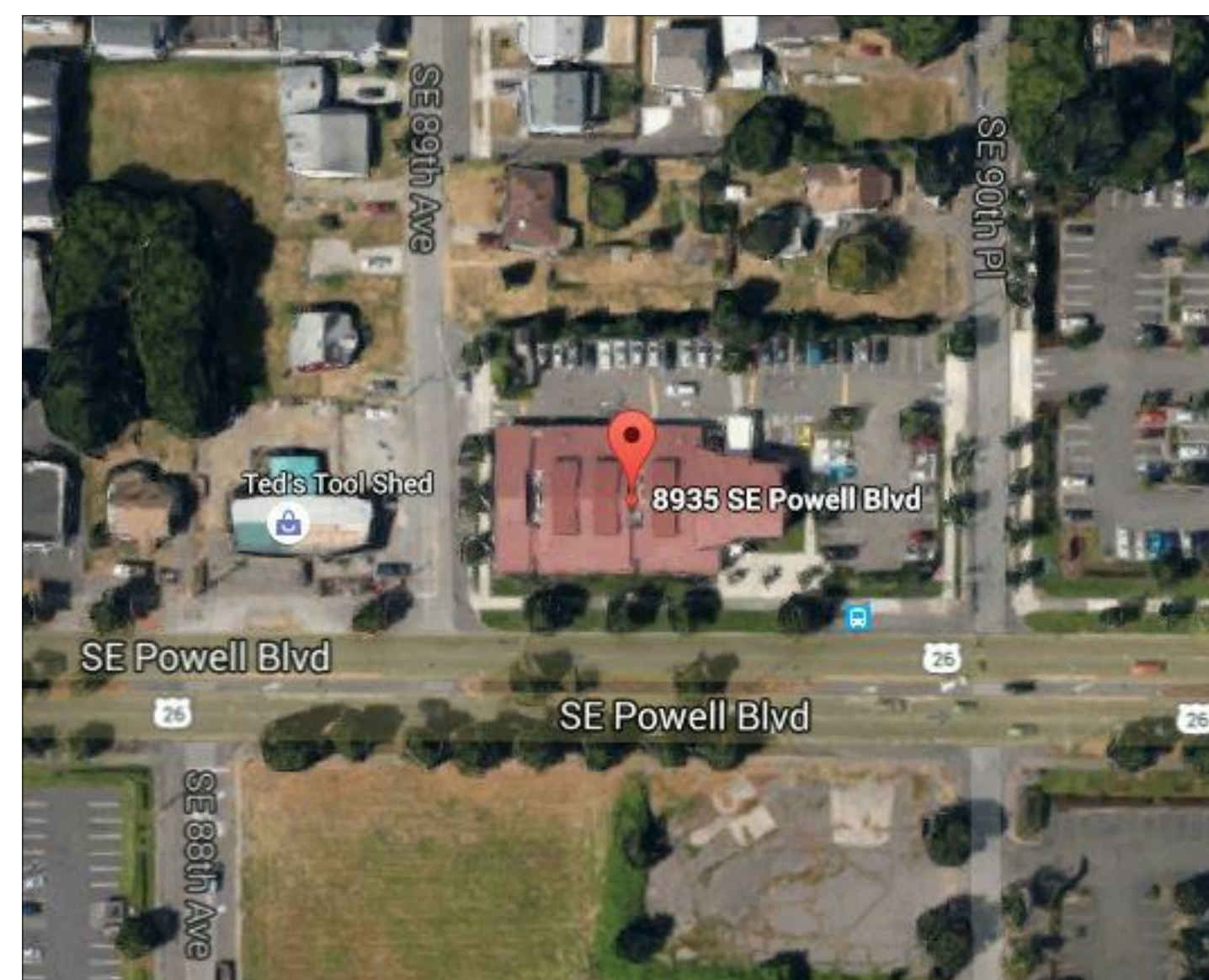
GENERAL NOTES

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF SUBCONTRACTOR'S WORK, COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS, ACCURATE LOCATION OF STRUCTURAL MEMBERS, AND OPENINGS FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND CLEARANCES FROM MANUFACTURER PRIOR TO THE CONSTRUCTION AND INSTALLATION OF ALL EQUIPMENT, FURNISHINGS, AND ACCESSORIES.
- CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE DURING CONSTRUCTION AND UNTIL PROJECT COMPLETION.
- CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UTILITIES, WHETHER INDICATED IN DRAWINGS OR NOT.
- PROVIDE BACKING, BLOCKING, OR STRAPPING AS REQUIRED FOR GRAB BARS, SHELVING, EQUIPMENT, HANDRAILS, ACCESSORIES, AND CABINETS.
- COORDINATE LOCATIONS OF IN-WALL ITEMS TO AVOID BACK TO BACK INSTALLATION.
- ALL SAFETY GLAZING SHALL BE PERMANENTLY LABELED WITH THE MANUFACTURER'S NAME AND TEST APPROVAL INFORMATION.
- SEE STRUCTURAL FOR REQUIRED SPECIAL INSPECTIONS.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL ELECTRICAL AND EQUIPMENT INFORMATION.

DEFERRED SUBMITTALS

- WOOD I-JOISTS
- METAL SUPPORTS FOR HEALTHCARE EQUIPMENT
- FIRE SUPPRESSION SYSTEM
- FIRE ALARM AND DETECTION SYSTEM

VICINITY MAP



RADICAL ROSEWOOD

YAKIMA VALLEY FARM WORKERS CLINIC

8935 SE POWELL BLVD. PORTLAND, OR 97266



ISSUE DATE: 01.29.2016

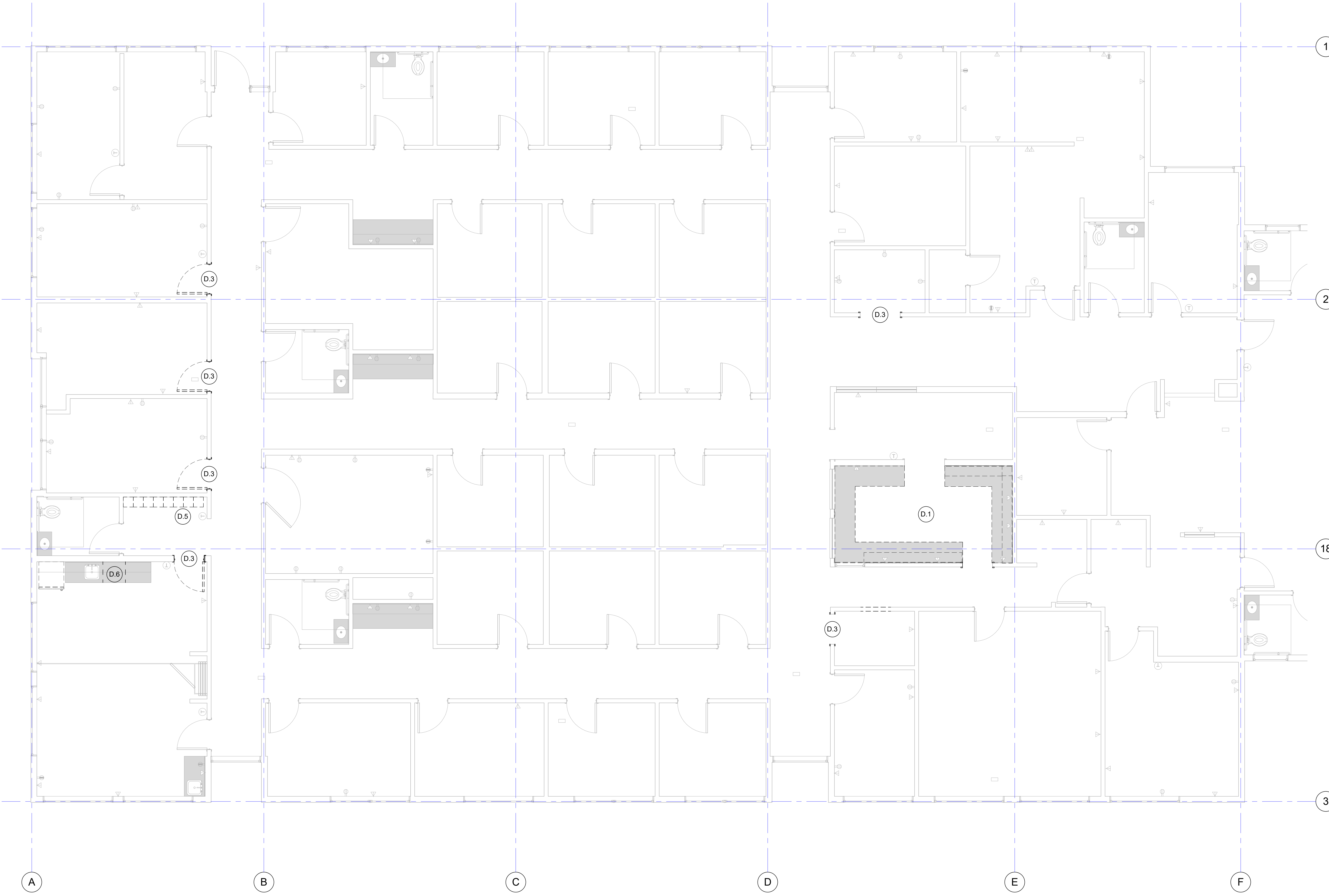
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GEN. NOTES, SYMBOL, ABBRE. & FINISH CODE

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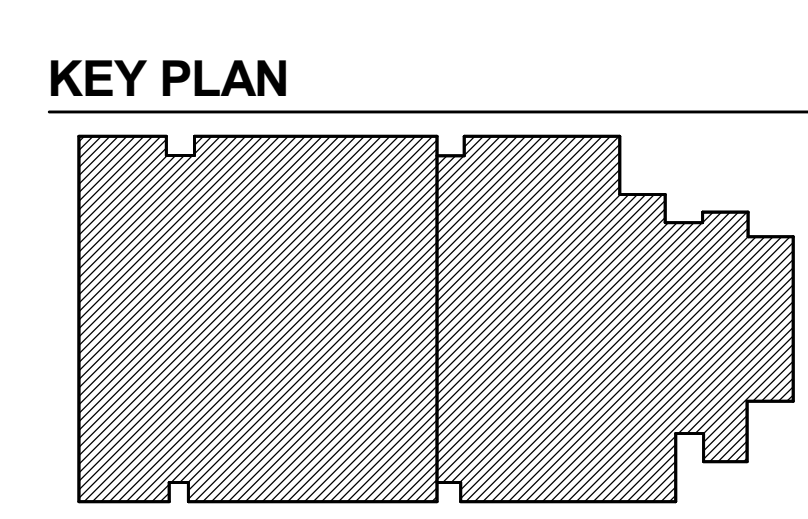
PROJECT NO.: 16001



- GENERAL NOTES**
1. CONTRACTOR SHALL VERIFY LIMITS OF DEMOLITION WORK
 2. THIS DRAWING IDENTIFIES ONLY MAJOR WORK FOR DEMOLITION AND REMOVAL. ALL AREAS OF DEMOLITION SHALL BE CLEARED OF ALL ITEMS MAJOR AND MINOR TO RECEIVE INSTALLATION OF NEW CONSTRUCTION AND FINISHES
 3. SEE REFLECTED CEILING PLANS FOR WORK THAT MAY IMPACT DEMOLITION
 4. SEE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION
 5. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES AND CONDITIONS PRIOR TO COMMENCING WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. REPORT ANY DISCREPANCIES BETWEEN DIMENSIONS FOUND IN FIELD AND DIMENSIONS ON DRAWINGS TO ARCHITECT
 6. LOCATE ALL WIRES, PIPES, UTILITIES, STRUCTURAL MEMBERS, ETC. PRIOR TO ANY DEMOLITION. CUTTING OF ANY ITEM WHICH IS NOT PART OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, INCLUDING ANY TESTING OR SPECIAL OBSERVATION TO CORRECT THE PROBLEM
 7. PATCH AND PAINT WALLS, FLOORS, AND SUBFLOOR TO MATCH EXISTING WHERE WORK HAS DISTURBED EXISTING CONDITIONS.
 8. ALL EXISTING FINISHES ARE TO BE PROTECTED FROM DAMAGE. DAMAGED AREAS SHALL BE REPAIRED AT NO COST TO THE OWNER.

- LEGEND**
- EXISTING PARTITION TO BE REMOVED
 - EXISTING PARTITION

- KEYNOTES-**
- D.1 REMOVE CASEWORK
 - D.3 REMOVE DOOR
 - D.5 REMOVE AND RELOCATE LOCKERS TO STAFF LOUNGE
 - D.6 MODIFY EXISTING CASEWORK TO ALLOW FOR NEW REFRIGERATOR



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GENERAL NOTES

1. SEE PARTITION TYPES SHEET FOR LEGEND AND CONSTRUCTION ASSEMBLIES.
2. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
3. SEE MECHANICAL AND ELECTRICAL FOR ADDITIONAL INFORMATION.
4. ALL WALLS TO BE P74 U.N.O.

-KEYNOTES-



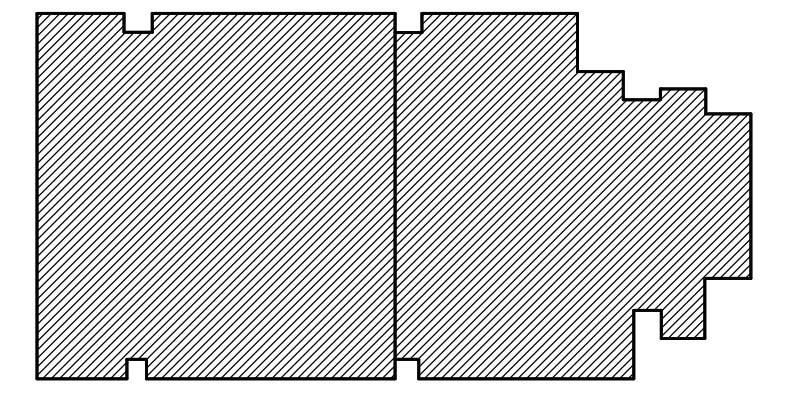
RADICAL ROSEWOOD
 YAKIMA VALLEY FARM WORKERS CLINIC

8935 SE POWELL BLVD., PORTLAND, OR 97266



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KEY PLAN

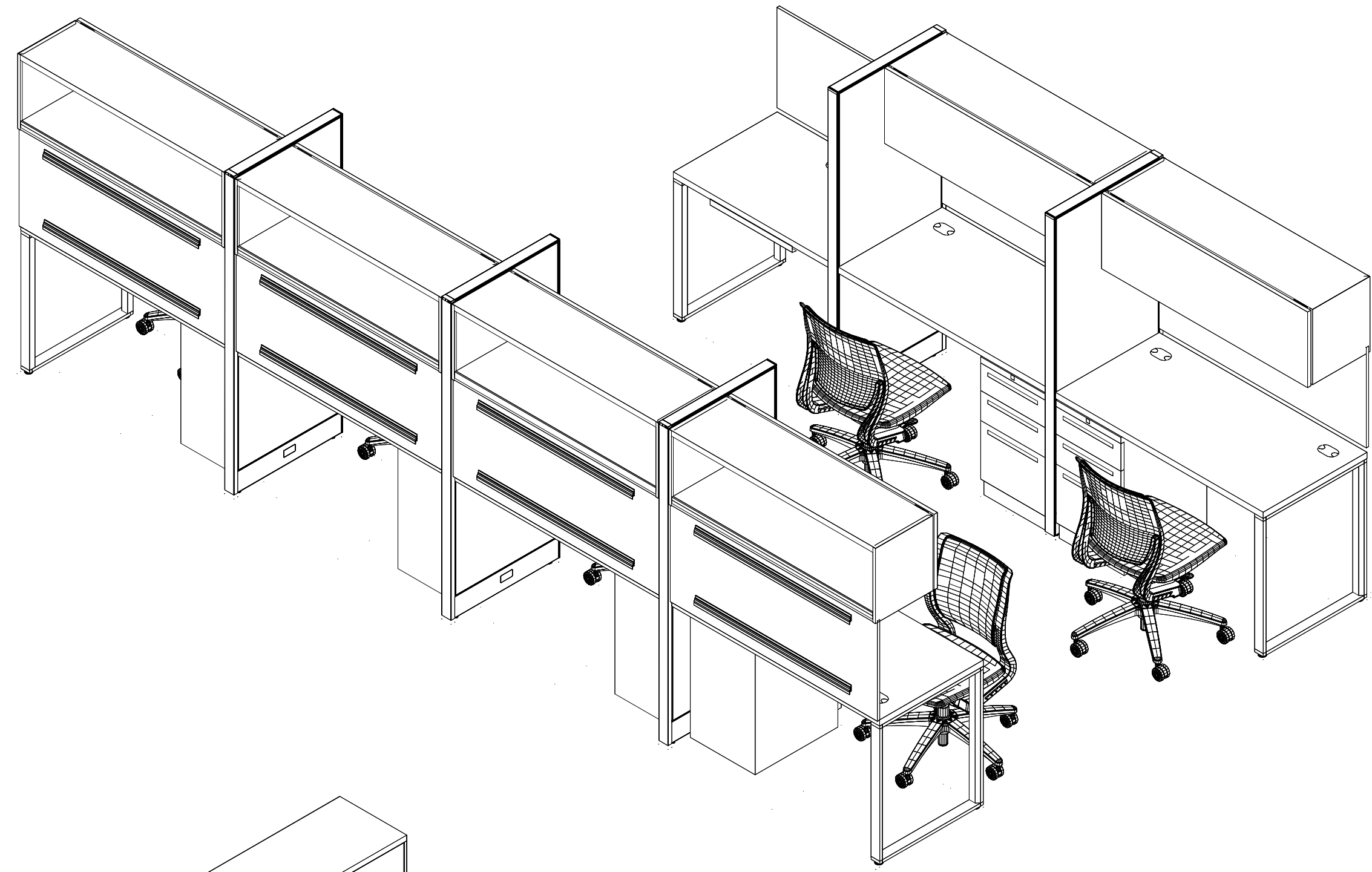


1 LEVEL 1
 1/4" = 1'-0"

LEVEL 1 PLAN

A2.01

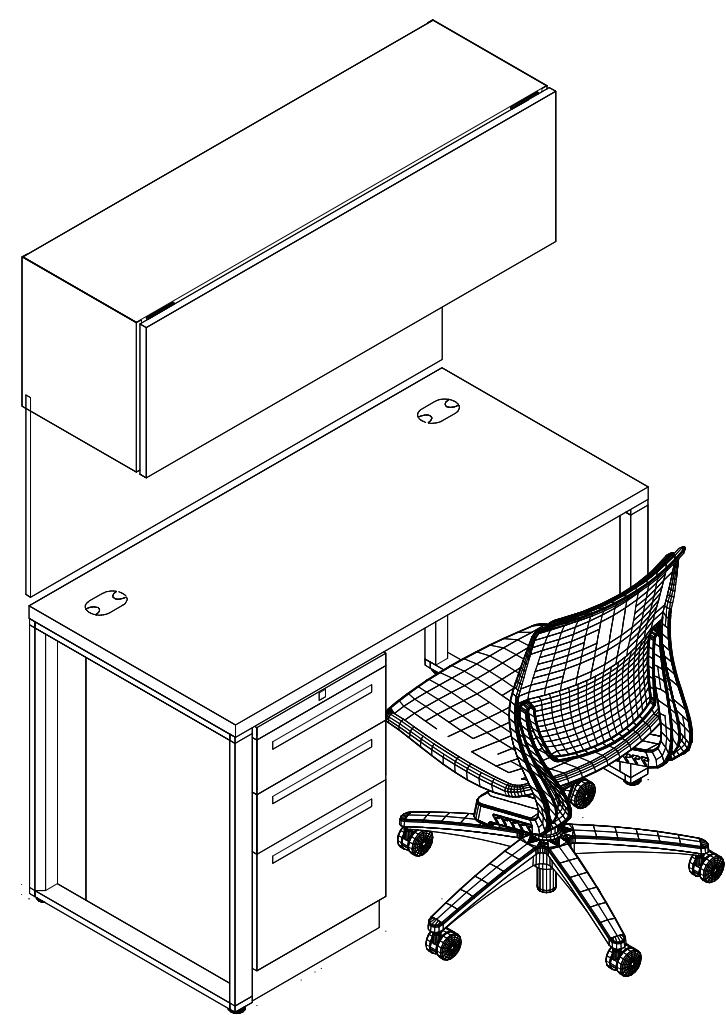
PROJECT NO.: 16001



3D Room 604 Typical Care Team Room



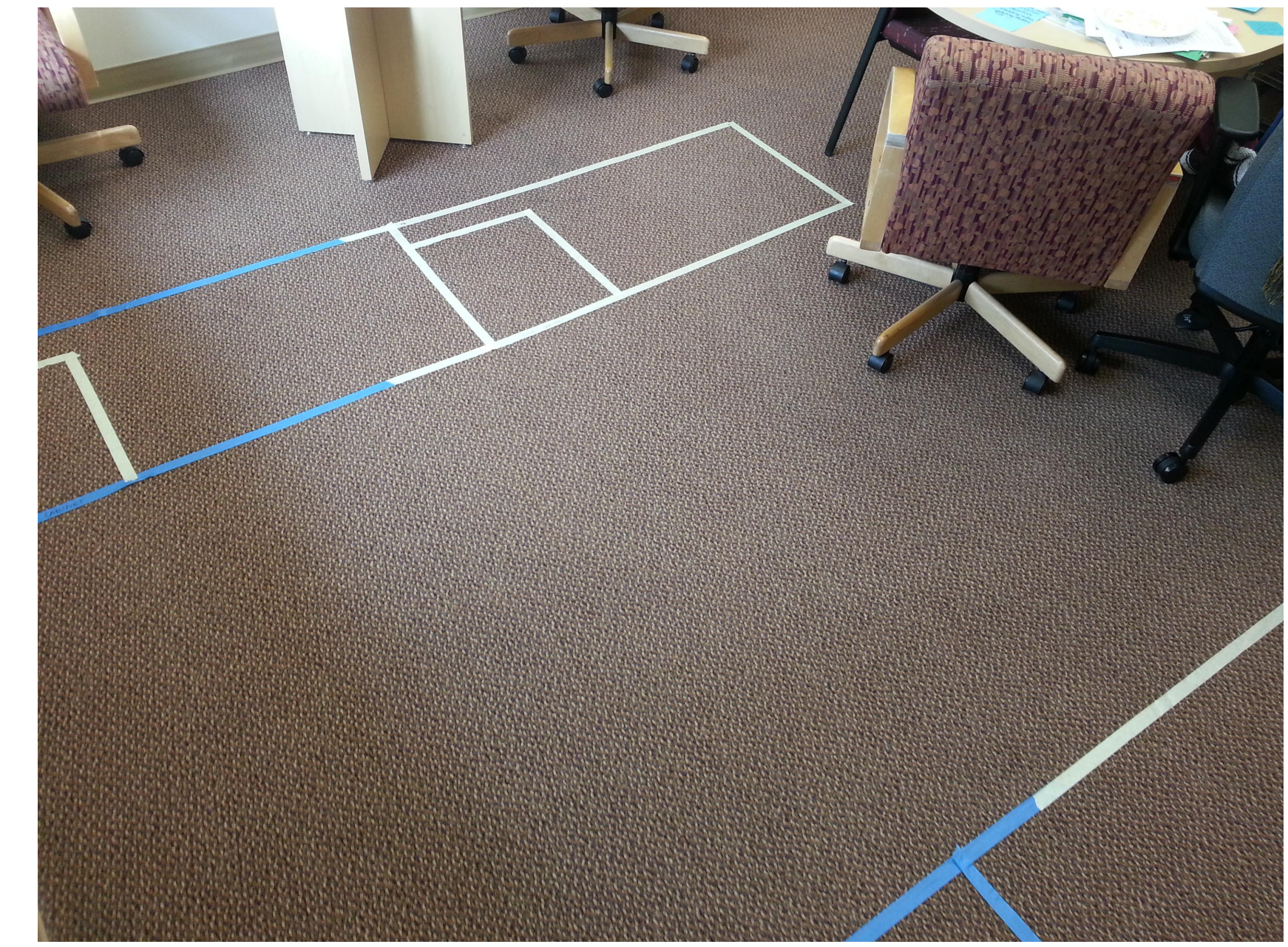
3D Room 206 Care Team Room Former NS



3D Large Consult Room



Mock up in Provider Office

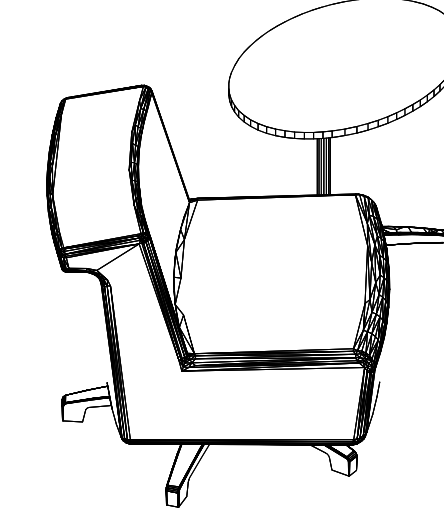


Mock up in Director Office



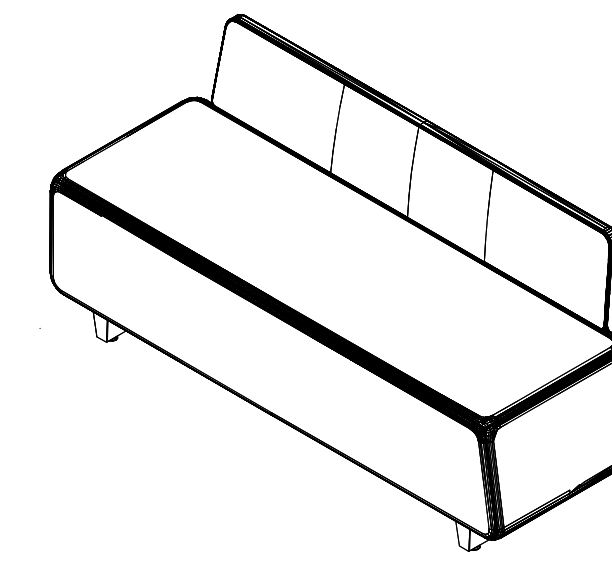
When you're sitting, thanks to a chair that's designed for meetings, all upright, lounge, or seating you can find the reproduction when you don't want to connect to the net.

Allsteel



When you're sitting, thanks to a chair that's designed for meetings, all upright, lounge, or seating you can find the reproduction when you don't want to connect to the net.

Allsteel

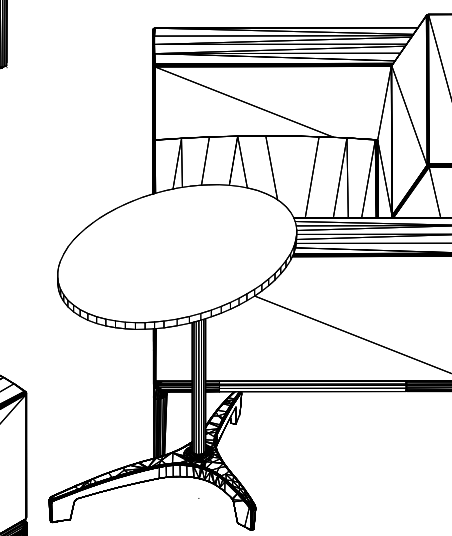
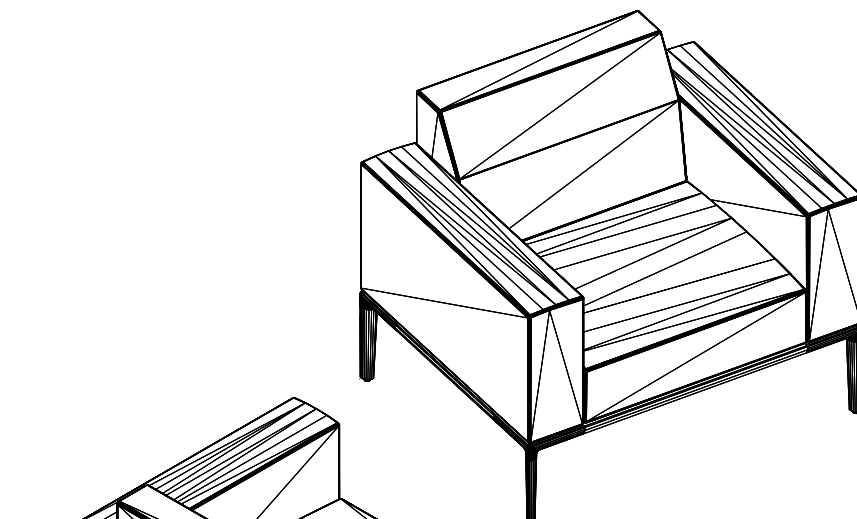


MIND-SHARE

There's more than one way to gather. And that's the beauty of the modular Mind-Share. Create your own or three chair from accessories, from open and ending to coffee and picnic. It's comfortable and flexible so you're free to design spaces that allow people to share thoughts and ideas.

Allsteel

3D Typical Small Consult Room Option 2 Allsteel



When you're sitting, thanks to a chair that's designed for meetings, all upright, lounge, or seating you can find the reproduction when you don't want to connect to the net.

Allsteel

3D BH Consult Room Option 2 Allsteel



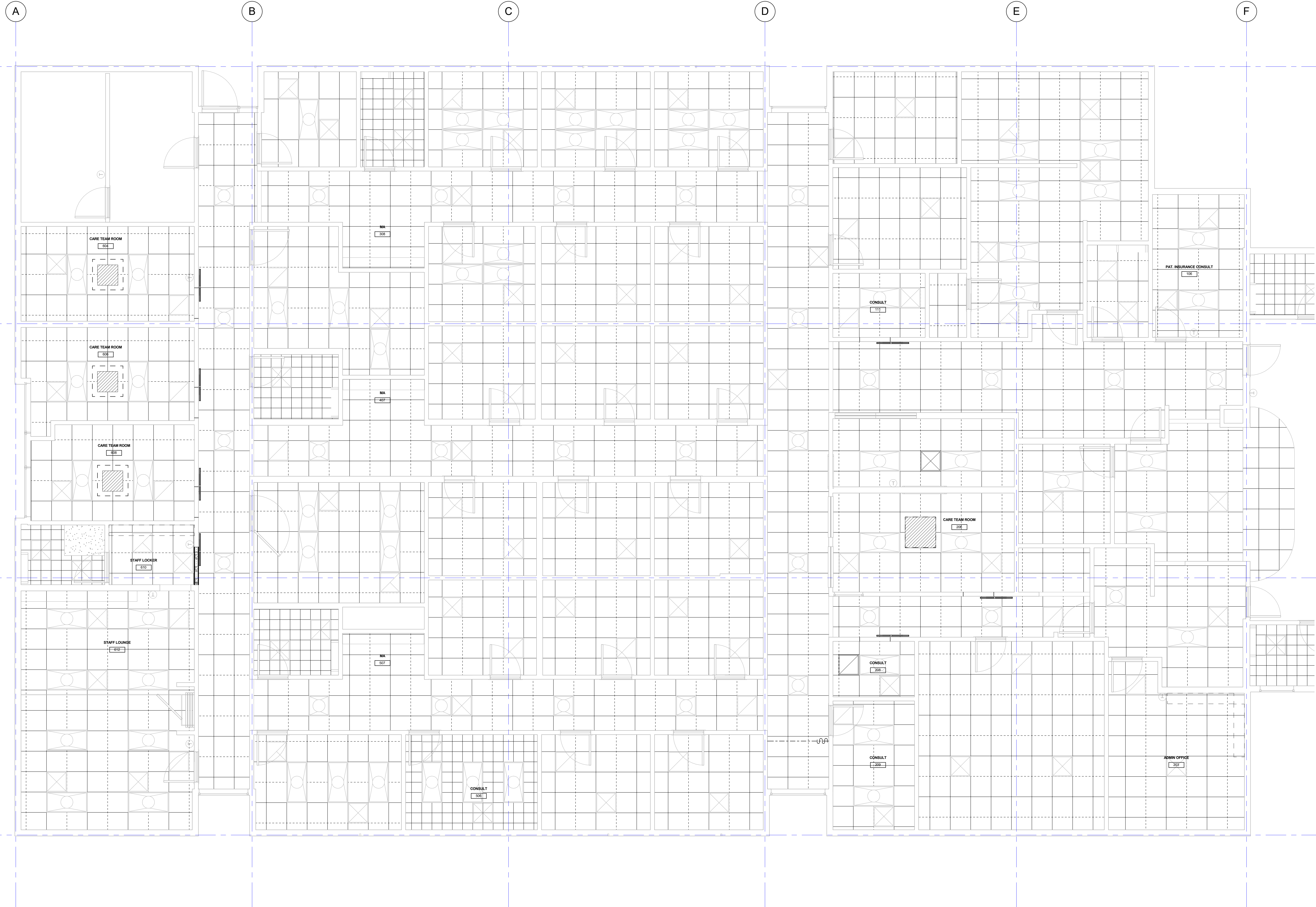
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FURNITURE 3Ds & PRODUCT PHOTOS

A2.02

PROJECT NO.: 16001



GENERAL NOTES

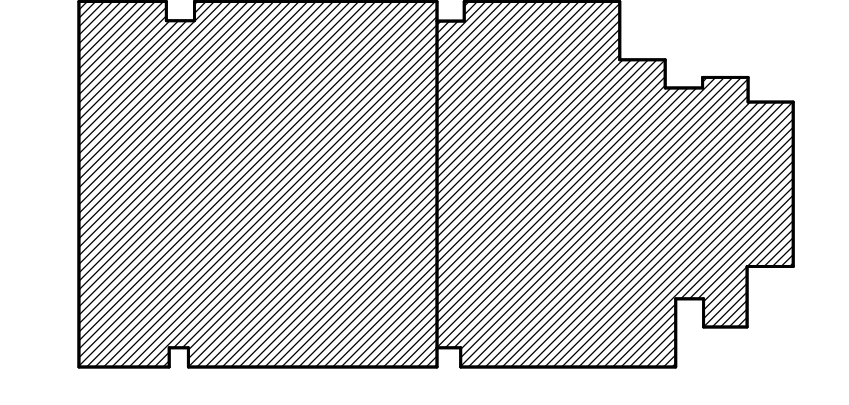
1. ALL CEILING HEIGHTS ARE RELATIVE TO TOP OF SLAB OR SUBFLOOR, U.N.O.
2. SEE ELECTRICAL AND MECHANICAL PLANS FOR LOCATIONS OF FIXTURES AND EQUIPMENT.
3. FIELD VERIFY EXISTING CEILING LAYOUTS PRIOR TO ANY WORK.
4. SUSPENSION SYSTEMS FOR NEW AND EXISTING SUSPENDED GYPSUM BOARD CEILINGS SHALL BE MODIFIED TO FRAME AROUND CEILING INSTALLED ITEMS. SEE MECHANICAL AND ELECTRICAL DRAWINGS.
5. INSTALL BLOCKING AND BACKING FOR WINDOW COVERING TRACKS.
6. REMOVE EXISTING CEILINGS WHERE NEW CEILINGS ARE SHOWN TO BE INSTALLED.
7. FOR TOP OF WALL DETAILS AND HEIGHT OF GYP BOARD ON WALLS, SEE PLANS, PARTITION TYPES, AND DETAILS.
8. RECESSED FIXTURES ARE TO MAINTAIN RATINGS WHERE LOCATED IN RATED CEILING ASSEMBLIES.

LEGEND

1. CEILING MATERIAL
 CEILING TAG
 CEILING HEIGHT
 GYPSUM BOARD CEILING
 ACT-1: "2x4"
 ACT-2: "2x4"
 ACT-3: "VINYL FACED"
 ACT-4: "2x2"
 2 x 4 DROP-IN FIXTURE
 RECESSED DOWNLIGHT
 PENDANT LIGHT
 EXAM LIGHT FIXTURE
 WALL MOUNTED LINEAR DIRECT/INDIRECT
 SUSPENDED LINEAR LIGHTING
 UNDERCABINET LIGHT
- 2.
- 18.
- 3.

-KEYNOTES-

KEY PLAN



1 RCP - LEVEL 1
1/4" = 1'-0"



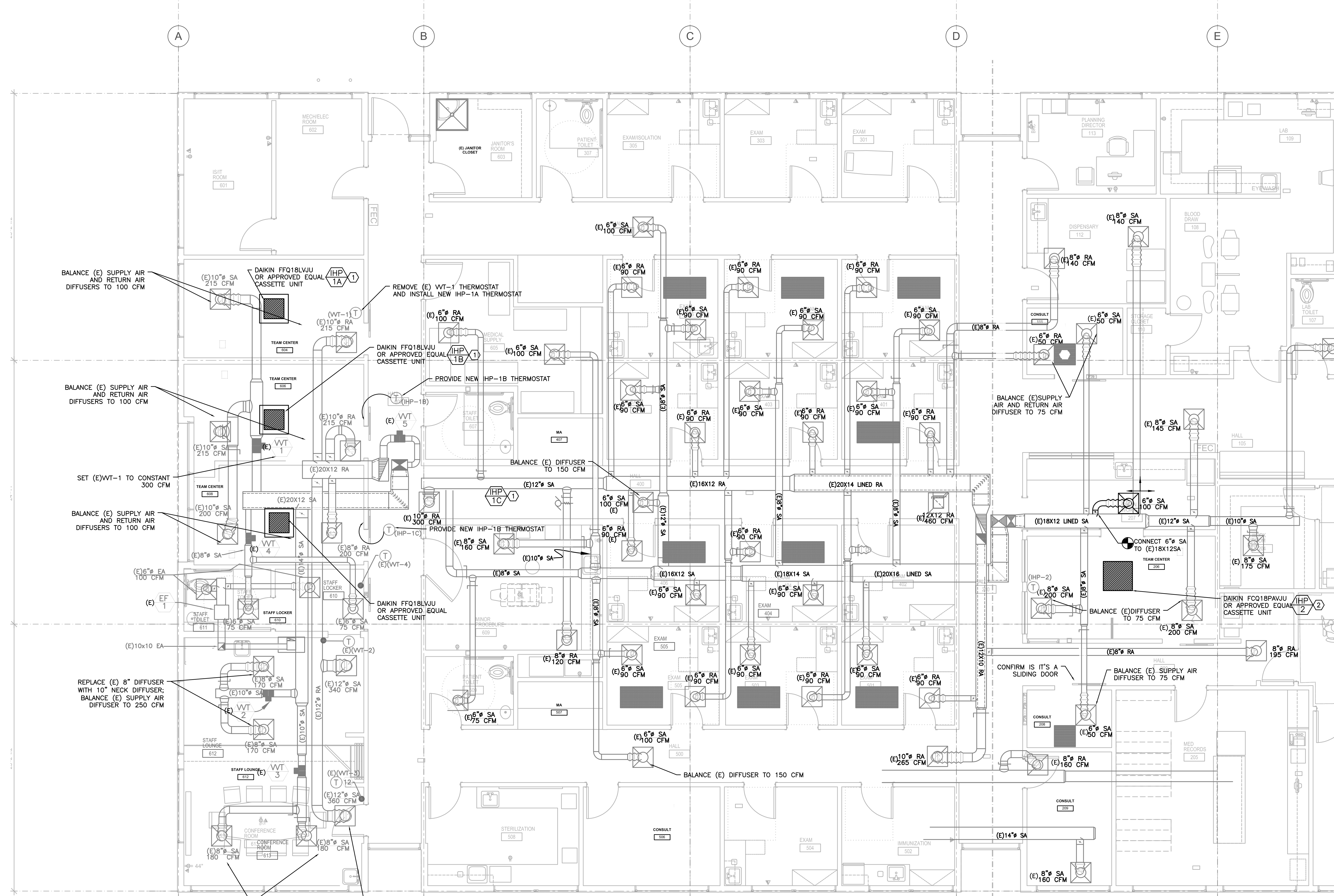
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REFLECTED CEILING PLAN- LEVEL 1

A6.01

PROJECT NO.: 16001



BALANCE (E) SUPPLY AIR AND RETURN AIR DIFFUSERS TO 100 CFM

BALANCE (E) SUPPLY AIR AND RETURN AIR DIFFUSERS TO 100 CFM

SET (E)WT-1 TO CONSTANT 300 CFM

BALANCE (E) SUPPLY AIR AND RETURN AIR DIFFUSERS TO 100 CFM

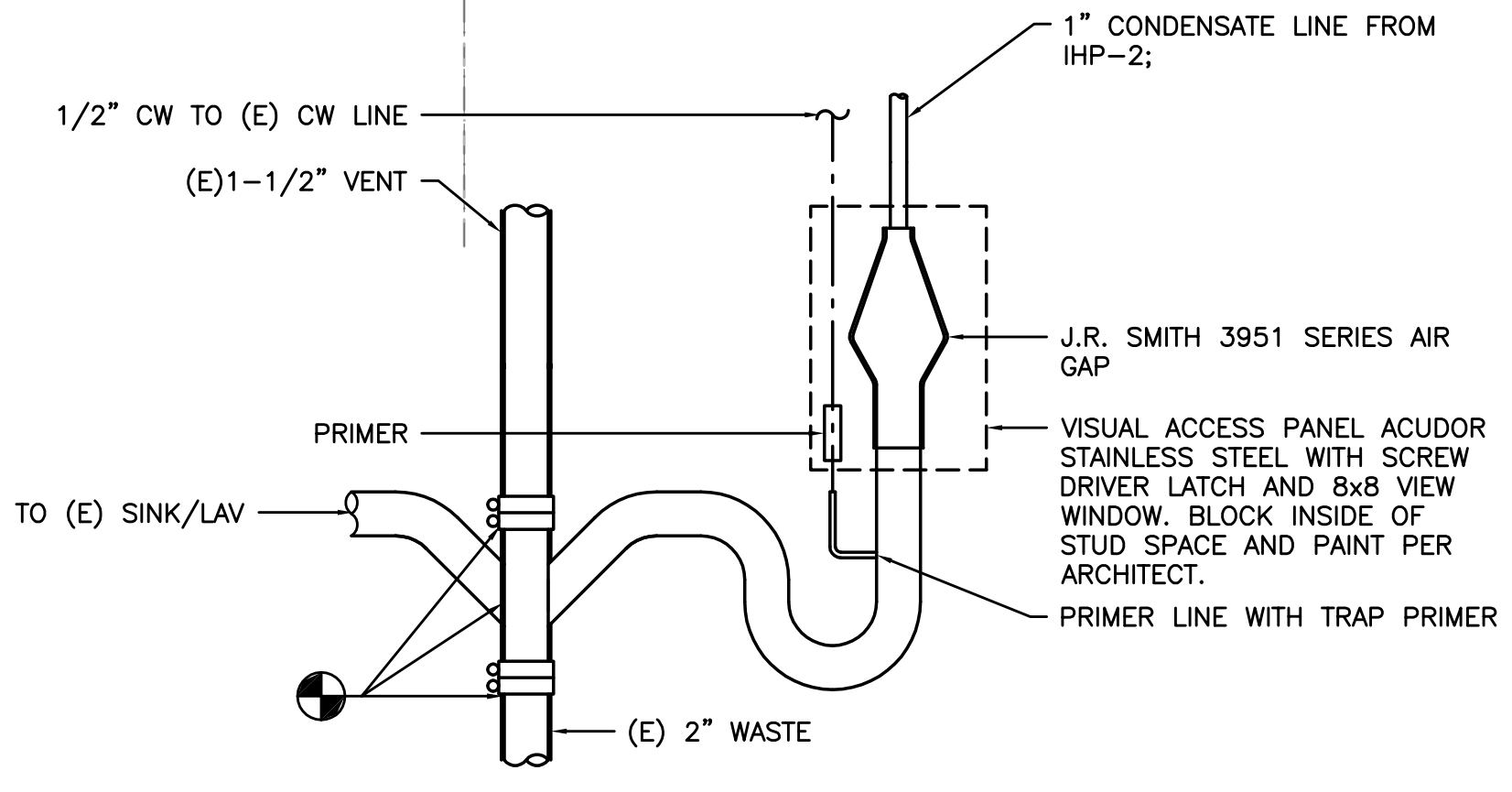
REPLACE (E) 8" DIFFUSER WITH 10" NECK DIFFUSER. BALANCE (E) SUPPLY AIR DIFFUSER TO 250 CFM

REPLACE (E) 8" DIFFUSER WITH 10" NECK DIFFUSER. BALANCE (E) SUPPLY AIR DIFFUSER TO 250 CFM

BALANCE (E) RETURN AIR DIFFUSER TO 500 CFM

KEYED NOTES:

- ① - PROVIDE BLOCKING BETWEEN ROOF JOISTS ABOVE THE CEILING TO SUPPORT INDOOR UNIT. PROVIDE CONDENSATE PUMP AND PIPE CONDENSATE 1" DRAIN TO OVER MOP SINK IN (E) JANITOR CLOSET. SEE FLOOR PLAN FOR LOCATION.
- ② - PROVIDE BLOCKING BETWEEN ROOF JOISTS ABOVE THE CEILING TO SUPPORT INDOOR UNIT. PROVIDE CONDENSATE PUMP AND PIPE CONDENSATE 1" DRAIN TO (E) SINK IN CLEAN WORK 207 ROOM PER DETAIL 2/M2.01

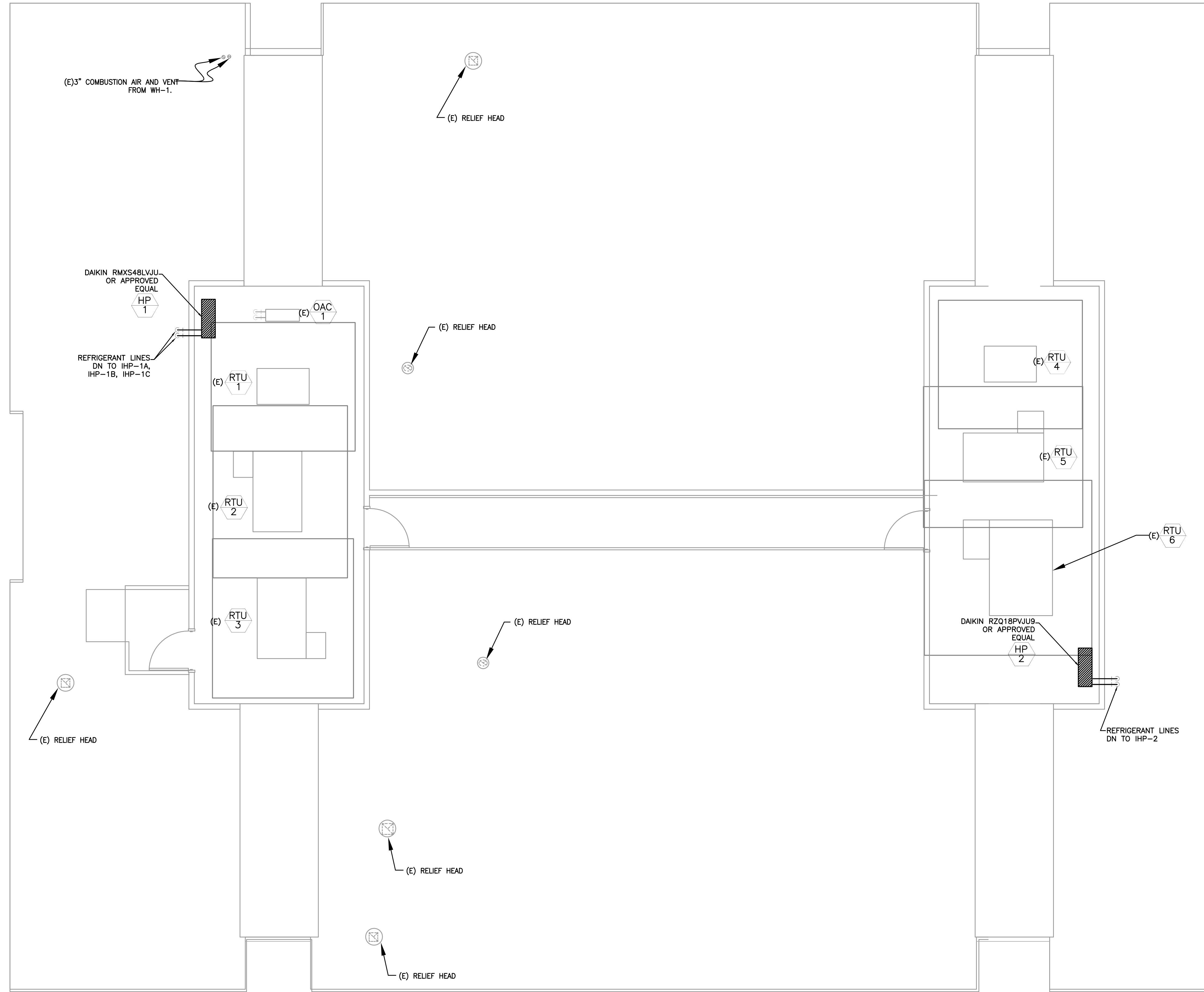


2 FIXED AIR GAP
SCALE: DETAIL

MATCH LINE SHEET A8.2

MATCH LINE SHEET A8.1

1 PARTIAL HVAC FLOOR PLAN
SCALE: 1/4"=1'-0"

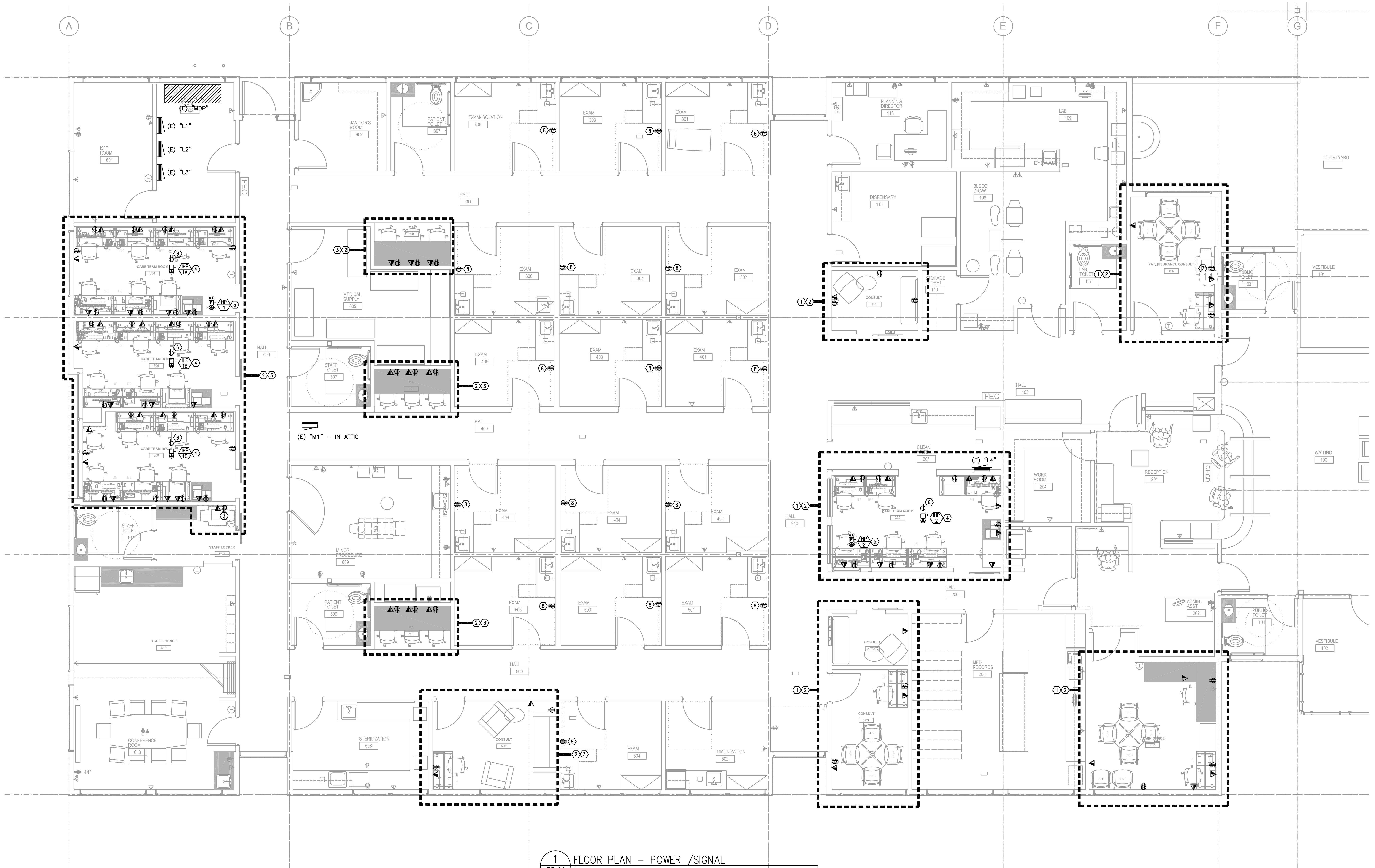


1 PARTIAL HVAC ROOF PLAN
 M2.02 1/4" = 1'-0"

RADICAL ROSEWOOD
 YAKIMA VALLEY FARM WORKERS CLINIC
 8935 SE POWELL BLVD. PORTLAND, OR



ISSUE DATE: Issue Date
 REVISIONS:



1 FLOOR PLAN - POWER / SIGNAL
 E3.00 SCALE: 1/4" = 1'-0"

PLAN NOTES

- ① NEW RECEPTACLES IN THIS AREA TO BE CONNECT TO AVAILABLE SPACE IN EXISTING PANELBOARD "L4". PROVIDE NEW 20A/1P CIRCUIT BREAKERS AS REQUIRED FOR BRANCH CIRCUIT TERMINATION.
- ② NEW DATA OUTLETS IN THIS AREA TO BE ROUGH-IN ONLY CONSISTING OF 4" SQUARE BOX WITH SINGLE-GANG MUDRING AND (1) 1"C STUBBED INTO ACCESSIBLE CEILING SPACE.
- ③ NEW RECEPTACLES IN THIS AREA TO BE CONNECT TO AVAILABLE SPACE IN EXISTING PANELBOARDS "L1", "L2", AND "L3". PROVIDE NEW 20A/1P CIRCUIT BREAKERS AS REQUIRED FOR BRANCH CIRCUIT TERMINATION.
- ④ NEW SPLIT SYSTEM INDOOR CEILING UNIT TO BE CONNECTED TO AVAILABLE SPACE IN EXISTING PANELBOARD "M1". PROVIDE CIRCUIT BREAKER PER MANUFACTURERS' RECOMMENDATION FOR EQUIPMENT FEEDER TERMINATION.
- ⑤ NEW SPLIT SYSTEM OUTDOOR UNIT LOCATED IN MECHANICAL ROOM WELL. CONNECT TO AVAILABLE SPACE IN EXISTING PANELBOARD "M1". PROVIDE CIRCUIT BREAKER PER MANUFACTURERS' RECOMMENDATION FOR EQUIPMENT FEEDER TERMINATION.
- ⑥ NEW RECEPTACLE FOR SPLIT SYSTEM CONDENSATE PUMP.
- ⑦ PROVIDE DEDICATED BRANCH CIRCUIT FOR THIS RECEPTACLE.
- ⑧ CONNECT RECEPTACLE TO EXISTING RECEPTACLE BRANCH CIRCUIT SERVING THIS ROOM.